



DATE: May 17, 2023

TO: Chairperson and Members of the Community Development Commission

FROM: Development Services Department

SUBJECT: **RESOLUTION APPROVING A TENTATIVE PARCEL MAP (RP22-00001), DEVELOPMENT PLAN (RD22-00002) AND DENSITY BONUS REQUEST (DB22-00007) TO ALLOW THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT PROJECT COMPRISED OF 64 RESIDENTIAL UNITS, INCLUDING SEVEN DEED RESTRICTED LOW-INCOME UNITS AND APPROXIMATELY 2,500 SQUARE FEET OF COMMERCIAL SPACE LOCATED AT 901 PIER VIEW WAY – 901 PIER VIEW WAY – APPLICANT: IV WEST, CA LLC**

SYNOPSIS

Staff recommends that the Community Development Commission (CDC) confirm issuance of a Class 32 "In-Fill Development Projects" Categorical Exemption per the California Environmental Quality Act (CEQA); and adopt a resolution approving a Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and Density Bonus Request (DB22-00007) to allow the construction of a mixed-use development project comprised of 64 residential units, including seven deed restricted low-income units and approximately 2,500 square feet of commercial space located at 901 Pier View Way.

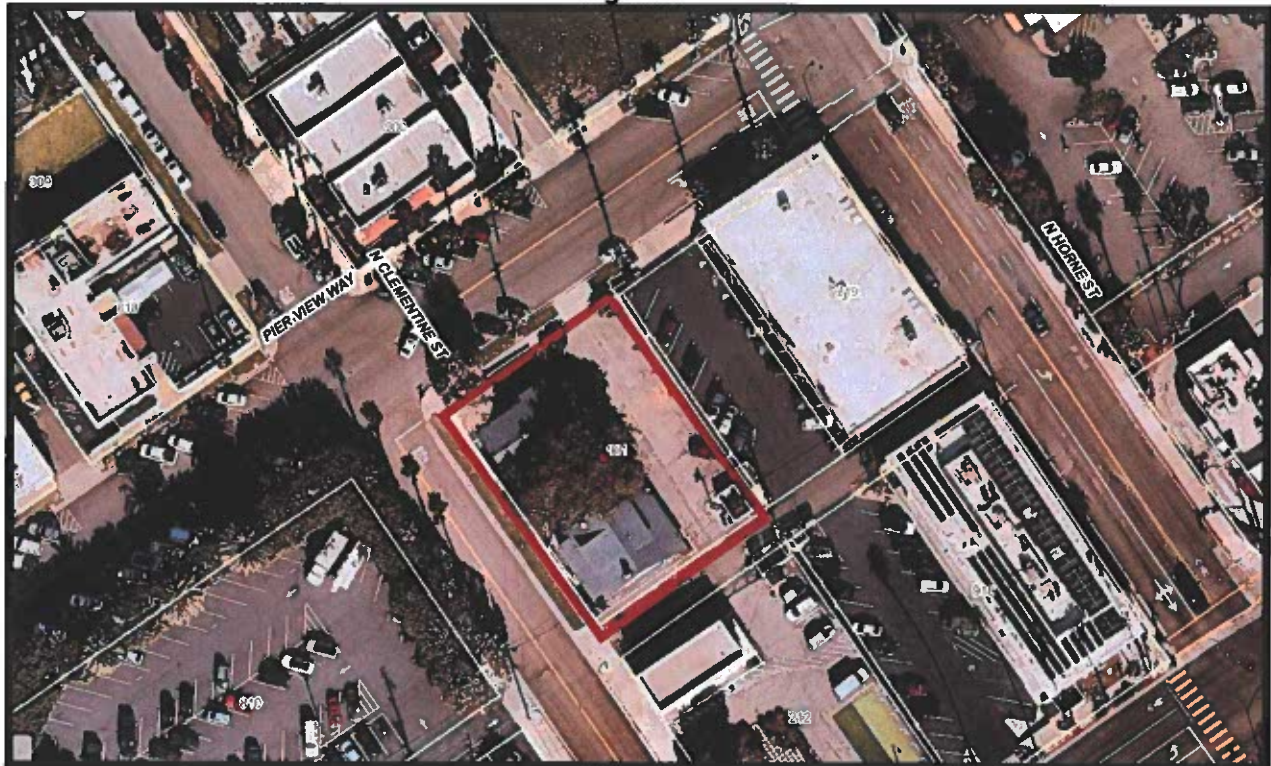
BACKGROUND

The project site is located at 901 Pier View Way (APN147-195-03). Situated within the Townsite Neighborhood Planning Area, the site has a General Plan land use designation of Downtown (D) and a zoning designation of Downtown District 2 (D-2). Located on the southeast corner of Pier View Way and North Clementine Street, the subject property is approximately 13,000 square feet in size and currently developed with two single-family residences and surface parking. Surrounding uses include a mix of civic facilities, offices, retail, and single and multi-family residential units. The project site is located 0.5 miles from the Oceanside Transit Center and situated within the Transit Overlay District (TOD). The project site (outlined in red) and surrounding areas are depicted in Figure 1.

On January 22, 2020, the CDC approved a project consisting of a Development Plan and Conditional Use Permit for the construction of a four-story mixed-use project consisting of 2,000 square feet of ground floor commercial space and 12 residential units on the subject property. As part of that approval, the CDC allowed a parking

reduction from the required 30 onsite spaces to 22 onsite parking spaces. However, the project did not move forward and the associated entitlements have since expired.

Figure 1



PROJECT DESCRIPTION

The project application consists of a Tentative Parcel Map, Development Plan, and Density Bonus Request as described below:

Tentative Parcel Map (RP22-00001) to allow the development of an airspace condominium map to separate ownership of the residential and commercial components of the project.

Development Plan (RD22-00002) to allow the demolition of the two existing single-family residences and the construction of a seven-story, approximately 65,000 square foot vertical mixed-use building. The building includes approximately 2,500 square feet of ground floor commercial space fronting Clementine Street and the northwest portion of Pier View Way, 64 for-rent residential apartments within six levels above the commercial space, a leasing office, amenity areas, and parking garage.

The second floor of the building is dedicated to residential use and includes nine units, a fitness center, lounge, and terrace area. Floors three through seven have identical layouts and are each comprised of 11 units. The residential units range in size from 440 square-foot studio units to 1,175 square foot two-bedroom units, with an average unit size of 788 square feet.

The main pedestrian entry for residents is located off Pier View Way and includes a residential lobby and leasing office. Resident open space areas include a courtyard and viewing deck on the second floor, rooftop deck with various amenities, and private balconies.

Parking for the proposed mixed-use project is designed with two levels of subterranean parking and one level at grade, providing a total of 64 parking spaces within the structure. Of the 64 parking spaces within the garage, 28 spaces are tandem spaces and would be assigned to the two-bedroom units. Access to the parking garage would be via the existing alley off Clementine Street, on the south side of the project site. The project applicant proposes to close the existing curb cut on Pier View Way to create four new angled parking stalls. A total of 10 parking spaces would be available for the commercial use, and located along Pier View Way and Clementine Street.

Numerous proposed project elements would enhance the streetscape and create an inviting pedestrian experience in the area. Ground floor commercial space would be flexibly designed to accommodate restaurant, retail, and/or office uses, extend to the adjacent streets, and utilize glass storefronts and high ceiling plates. Entrances would be provided on both Pier View Way and Clementine Street. A pedestrian plaza would be oriented along Pier View Way to help activate the street scene and create an inviting transition to the commercial spaces. Bicycle racks would be provided along Pier View Way and Clementine Street.

Landscaping would create ground-level appeal and help soften massing along the north facing elevation of the building. The project applicant proposes to add three 48-inch box canopy trees and landscaping groundcover to the parkway along Clementine Street. Three 24-inch box trees and raised planters with vertical shrubs would be installed along the commercial frontage facing Pier View Way to help soften the building mass and provide structural relief. Additional trees and drought tolerant landscaping would be planted in portable planters on the second-floor terrace and rooftop deck. Raised planters that treat stormwater runoff from the building roof would double as a design element with vertical shrubs able to withstand basin conditions.

A "Mixed-Use Development Plan" is required for any proposal to establish commercial and residential together as a single project. The subject development plan has been prepared pursuant to Articles 12, 31, and 43 of the Oceanside Zoning Ordinance for the Downtown Area. The proposed project would reserve seven of the 64 units as low-income restricted apartments. Per Density Bonus Law, the proposed project allows waivers from required development standards.

Density Bonus (DB22-00002) to allow a residential development that would provide seven units or 10 percent of the total apartment count for low-income households. The seven affordable units would be proportional to the market rate rentals provided in the unit mix and would be dispersed throughout the project. The units would be reserved for low-income households, per State Density Bonus Law.

The City does not currently have a maximum density established for the subject property; therefore, the application, which proposes a density of 210 dwelling units/acre, is allowed under current zoning regulations, and it is unnecessary for the applicant to request additional density as part of the application. Per prior City Council direction, staff is currently exploring options to reinstate a density cap. It should be noted that the project applicant filed an SB 330 application on April 19, 2022, effectively locking in the development standards in effect at that time.

State law entitles projects to certain incentives or concessions and also provides for waivers from development standards that would physically preclude the project at the density proposed. The granting of waivers does not reduce the number of incentives or concessions allowed on a project, and the number of waivers that may be requested and granted is unlimited. By reserving 10 percent of the total units for low-income households, the proposed project is entitled to one incentive/concession. The applicant has requested to eliminate the requirement to underground overhead utility lines along adjacent public streets. The applicant has provided a cost analysis (Attachment 5) that details the identifiable cost reductions as a result of this concession. Pursuant to state law, the City cannot deny a request for a concession unless findings are made that the concession would have a “specific adverse impact.”

In order to accommodate the proposed density and provide 64 residential units, the project cannot physically comply with all applicable development standards. The applicant has thus requested waivers from the following development standards pursuant to Density Bonus Law:

1. Maximum building height
2. Minimum setbacks
3. Minimum parking stall width next to columns
4. Minimum parking stall dimensions
5. Minimum garage drive aisle width
6. Minimum landscaping
7. Minimum private open space

The project’s density bonus addendum, included within the Description and Justification (Attachment 4), explains why the proposed project cannot physically comply with the above-mentioned development standards. Further details on the requested waivers are included in the February 13, 2023 Downtown Advisory Committee (DAC) staff report (Attachment 6).

ANALYSIS

Key Planning Issues

1. General Plan Conformance

The General Plan Land Use Map designation for the subject property is Downtown (D). The proposed project is consistent with this land use designation and the policies of the City's General Plan as follows:

A. Land Use Element

Goal 1.12 Land Use Compatibility

Objective: To minimize conflicts with adjacent or related uses.

Policy B: The use of land shall not create negative visual impacts to surrounding land uses.

The project site is located in close proximity (0.5 miles) to the Oceanside Transit Center and is situated within the Oceanside TOD. The vertical mixed-use building is consistent with the pattern of redevelopment in the downtown area. In keeping with smart growth principles, the current trend of redevelopment in downtown Oceanside is to bring forward high density vertically-oriented mixed-use development in order to accommodate the City's regional fair share of housing growth, support commercial establishments, enhance walkability, and support transit service. The proposed project would include a modern style of architecture with quality materials and design in keeping with the vast variety of architectural designs in the surrounding downtown area. The project site is located in a highly urbanized area consisting of commercial and civic type land uses. The proposed project, as designed and sited, would be consistent with the surrounding built environment and enhance the area by activating the streetscape with a pedestrian plaza and street-facing commercial areas.

Goal 1.16: Housing

Objective: To ensure that decent, safe and sanitary housing is available to all current and future residents of the community at a cost that is within the reach of the diverse economic segments of Oceanside.

Policy A: The City shall strive to maintain a reasonable balance between rental and ownership housing opportunities, between senior and family housing, and encourage a variety of individual choices of tenure, type and location of housing throughout Oceanside.

The proposed project, which includes 64 rental apartments, would add to the variety of existing single and multi-family unit housing types available within the area.

The Regional Housing Needs Assessment (RHNA) for the Sixth Housing Element Cycle (2021-2029) estimates that the City of Oceanside will experience demand for 5,443 new dwelling units, including 718 low income units, over the next eight years. By contributing 64 rental dwelling units, including seven reserved for low income households, to the City's existing housing stock, the proposed project would help meet the City's projected housing demand.

Policy E: The City shall protect, encourage, and where feasible, provide housing opportunities for persons of low and moderate income.

The proposed project is requesting density bonus by reserving 10 percent of the total number of units (seven units) for low-income tenants. By providing affordable units, the project would offer housing opportunities in an area otherwise unattainable for lower income households.

Goal 1.23 Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatment, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

Policy B: Structures shall work in harmony with landscaping and adjacent urban and/or topographic form to create an attractive line, dimension, scale, and/or pattern.

The proposed project would embody a contemporary version of mid-century modern design with such architectural features as the incorporation of stone and decorative metal materials, and a breeze block into the building. The building would exhibit clean lines and a symmetrical arrangement of architectural elements. To reduce massing along Clementine Street, the proposed project would include a central terrace for horizontal articulation. On Pier View Way, landscaping consisting of a variety of canopy trees and drought tolerant shrubs and groundcover would help soften the building.

2. Subdivision Ordinance Compliance

The proposed project is subject to Article IX of the Oceanside Subdivision Ordinance, which requires undergrounding of overhead power lines as a part of the street frontage improvements for the project. However, the project is requesting a concession from this requirement pursuant to Density Bonus Law provisions. All other aspects of the project comply with the requirements of the Subdivision Ordinance.

3. Zoning Ordinance Compliance

The proposed project is subject to the Downtown District land use and development standards within Article 12 of the Zoning Ordinance. The project site is located within Downtown Subdistrict 2, which provides for residential uses as part of mixed-use development projects. With respect to development standards, the proposed project complies with the requirements of Downtown Subdistrict 2, except where the applicant is seeking waivers consistent with State Density Bonus Law.

As previously noted, parking for the mixed-use project includes a total of 64 parking spaces within the garage structure and 10 on-street spaces (i.e. seven along Pier View Way and three along Clementine). In accordance with Article 12, Section 1232 W.5. of

the Zoning Ordinance for the Downtown district, mixed-use development projects within the downtown TOD area may receive a parking requirement reduction of up to 25 percent. Additionally, within the TOD area east of the railway corridor, the number of on-street parking spaces available on the contiguous street frontage of the site may be counted towards the total number of parking spaces required for a mixed-use development plan. As such, the proposed project utilizes both the TOD reduction and on-street parking spaces to satisfy City parking requirements.

ENVIRONMENTAL REVIEW

Pursuant to CEQA, staff finds that the proposed project is Categorical Exempt pursuant to Article 19 Categorical Exemptions, Section 15332 “In-fill Development Projects” of CEQA. The site is located in an urbanized area, and would not result in any significant environmental effects.

PUBLIC NOTIFICATION

The applicant posted a Notice of Project Application sign on the property and notices were sent to property owners within a 1,500-foot radius and to tenants within a 100-foot radius of the subject property. Notices were also sent to individuals and/or organizations requesting notification, the applicant and other interested parties.

On October 6, 2022, the applicant mailed a flyer to the project mailing list inviting residents to attend a Community Outreach Meeting. The Community Outreach Meeting was held on November 9, 2023. There were no attendees, other than the project team and City staff, at this meeting.

To date, staff has not received any correspondence on the proposed project.

COMMISSION OR COMMITTEE REPORT

On February 15, 2023, the DAC was presented with the project and after due consideration voted unanimously (6-0 vote) to recommend CDC approval of the proposed project with a revision to the motion requiring the undergrounding of utilities.

The DAC members reviewed the Utilities Undergrounding Cost Analysis (Attachment 5) provided by the applicant and inquired on the costs associated with undergrounding the utilities. The applicant indicated the project team would reevaluate the cost analysis prepared for the project. To date, staff has not received any additional materials on the undergrounding costs.

Pursuant to State law, the project is entitled to one concession. State law prohibits the City from denying any requested concession unless findings are made that the concession would have a “*Specific Adverse Impact*”, which is defined as “*a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.*” Staff has evaluated the requested concession to

remove the requirement to underground facilities. It is staff's determination that a specific adverse impact will not occur by granting this concession to the applicant.

FISCAL IMPACT

The applicant has paid all fees required for the consideration of this application.

CITY ATTORNEY'S ANALYSIS

Pursuant to Oceanside Downtown Zoning Ordinance Article 12, the CDC is authorized to hold a public hearing and consider the evidence presented at the public hearing. After conducting the public hearing, the CDC shall approve, conditionally approve, or deny the project. The resolution has been reviewed and approved as to form by the City Attorney.

RECOMMENDATION


Staff recommends that the Community Development Commission (CDC) confirm issuance of a Class 32 "In-Fill Development Projects" Categorical Exemption per the California Environmental Quality Act (CEQA); and adopt a resolution approving a Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and Density Bonus Request (DB22-00007) to allow the construction of a mixed-use development project comprised of 64 residential units, including seven deed restricted low-income units and approximately 2,500 square feet of commercial space located at 901 Pier View Way.

PREPARED BY:

SUBMITTED BY:



Shannon Vitale
Senior Planner



Jonathan Borrego
City Manager

REVIEWED BY:

Darlene Nicandro, Development Services Director
Sergio Madera, City Planner





ATTACHMENTS:

1. Community Development Commission Resolution
2. Reduced Plan Sets
3. Renderings
4. Description & Justification
5. Utilities Undergrounding Cost Analysis
6. Downtown Advisory Committee Staff Report dated February 15, 2023
7. Notice of Exemption

RESOLUTION NO.

A RESOLUTION OF THE COMMUNITY DEVELOPMENT COMMISSION OF THE CITY OF OCEANSIDE APPROVING A TENTATIVE PARCEL MAP (RP22-00001), DEVELOPMENT PLAN (RD22-00002) AND DENSITY BONUS REQUEST (DB22-00007) FOR THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT PROJECT COMPRISED OF 64 RESIDENTIAL UNITS, INCLUDING SEVEN DEED RESTRICTED LOW-INCOME UNITS, AND APPROXIMATELY 2,500 SQUARE FEET OF COMMERCIAL SPACE LOCATED AT 901 PIER VIEW WAY

(IV WEST, CA LLC – APPLICANT)

WHEREAS, on February 15, 2023, the Downtown Advisory Committee was presented with the project and after due consideration voted unanimously (6-0 vote) to recommend Community Development Commission approval of a Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and Density Bonus Request (DB22-00007) to the Community Development Commission for final action with a revised motion to require the undergrounding of utilities; and,

WHEREAS, on May 17th, 2023, the Community Development Commission held a duly-noticed public hearing to consider an application by IV West, CA LLC for a Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and Density Bonus Request (DB22-00007) to allow the construction of a mixed-use development project comprised of 64 residential units, including seven (7) deed restricted low-income units, and approximately 2,500 square feet of commercial space at 901 Pier View Way; and,

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the proposed project is categorically exempt pursuant to Article 19 Categorical Exemptions, Section 15332 “In-fill Development Projects” of the CEQA Guidelines; and,

WHEREAS, there is hereby imposed on the subject development project certain fees, dedications, reservations and other exactions pursuant to state law and City ordinance; and

WHEREAS, pursuant to Government Code §66020(d)(1), NOTICE IS HEREBY GIVEN that the Project is subject to certain fees, dedications, reservations and other exactions as provided below:

Description	Authority for Imposition
Public Facility (Residential)	Ord. No. 91-09 Reso. No. 15-R0638-1
Public Facility (Commercial/Industrial)	Ord. No. 91-09 Reso. No. 15-R0638-1
Parks (Residential only)	Ord. No. 91-09 Reso. No. 15-R0638-1
School District Fee (Residential)	Ord. No. 91-34 OUSD Res. 13(12-13) CUSD Res. 21-1314
School District Fee (Commercial/Industrial)	Ord. No. 91-34 OUSD Res. 13(12-13) CUSD Res. 21-1314
Traffic Signal & Thoroughfare (Multi-Family Residential)	Reso. No. 16-R0324-1 Reso. No. 12-R0626-1
Traffic Signal & Thoroughfare (Commercial/Industrial)	Reso. No. 16-R0324-1
Drainage and Flood Control Fee	Ord. No. 85-23 Reso. No. 16-R0638-1
Wastewater System Capacity Buy-in Fee (Non-Residential and Multi-Family Residential)	Reso. No. 87-97 Ord. No. 15-OR0479-1 City Code 37.7.37
Water System Capacity Buy-in Fee (Residential and Non-Residential)	Reso. No. 87-96 Ord. No. 15-OR0480-1 City Code 37.7.37
San Diego County Water Authority (Residential and Non-Residential)	SDWA Ord. 2017
Inclusionary Housing Administration Fee	Chapter 14C.9 of the MC Reso. No. 03-R175-1 Reso. No. 11-R0483-1

WHEREAS, the fees listed above have been identified by the City as being applicable to the project as proposed. Failure by the City to list an applicable fee above does not alleviate the developer from paying all applicable fees at the time when such fees become due; and

WHEREAS, unless otherwise provided by this resolution, all impact fees shall be calculated and collected at the time and in the manner provided in Chapter 32B of the Oceanside City Code and the City expressly reserves the right to amend the fees and fee calculations subject to applicable law including Government Code Section 65589.5 (o); and

1 WHEREAS, the City expressly reserves the right to establish, modify or adjust any fee,
2 dedication, reservation or other exaction to the extent permitted and as authorized by law; and

3 WHEREAS, pursuant to Gov't Code §66020(d)(1), NOTICE IS FURTHER GIVEN that
4 the 90-day period to protest the imposition of any fee, dedication, reservation, or other exaction
5 described in this resolution begins on the effective date of this resolution and any such protest
6 must be in a manner that complies with Section 66020; and

7 WHEREAS, the documents or other material which constitute the record of
8 proceedings upon which the decision is based will be maintained by the City of Oceanside
9 Development Services Department Planning Division, 300 North Coast Highway, Oceanside,
10 California 92054; and

11 WHEREAS, studies and investigations made by the Community Development
12 Commission reveal the following facts:

13 FINDINGS:

14 For the Tentative Parcel Map (RP22-00001)

- 15 1. That the proposed Tentative Parcel Map is consistent with the General Plan of the City by
16 meeting lot size requirements and other applicable provisions of the Zoning Ordinance and
17 Subdivision Ordinance.
- 18 2. That the site is physically suitable for the type and proposed density of development by
19 providing a development project consistent with the Townsite Neighborhood Planning
20 Area. The surrounding area is characterized by a mix of residential and commercial uses
21 and the proposed mixed-use development would be compatible and complimentary to the
22 existing uses. The overall design will provide adequate vehicle parking in a subterranean
23 tandem configured design accessed off the alley. The project provides additional on street
24 parking spaces along Pier View Way and retains the existing on street parking along
25 Clementine Street, thus ensuring no impacts occur to on-street parking.
- 26 3. The design of the subdivision or the proposed improvements will not cause substantial
27 environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
28 The subject property is located in an urbanized and developed area and contains no
sensitive habitat.

- 1 4. The design of the subdivision or proposed improvements will not conflict with easements,
2 acquired by the public at large, for access through or use of property within the
3 subdivision. There are no easements, acquired by the public at large, for access through or
4 the use of the subject property.
- 5 5. The subdivision complies with all other applicable ordinances, regulations and guidelines
6 of the City of Oceanside. The proposed tentative map exhibit accords with the form and
7 content requirements of the City's Subdivision Ordinance (Section 601).

8 For the Development Plan (RD22-00002):

- 9 6. The site plan and physical design of the project, as proposed, is consistent with the
10 objectives of the Zoning Ordinance and the purposes of Subdistrict 2 in which the site is
11 located. The proposed development will further the long-term viability and rejuvenation of
12 the Downtown District by redeveloping an underutilized site with a mix of commercial
13 space and residential housing units. Subdistrict 2 allows residential uses as part of mixed-
14 use development and this project will provide housing, including seven low-income deed
15 restricted units, for a range of income levels within the downtown area. The site plan and
16 physical design of the project meets or exceeds the applicable development standards
17 contained within the Zoning Ordinance, except where the applicant has requested waivers
18 consistent with State Density Bonus Law.
- 19 7. The Development Plan, as proposed, conforms to the General Plan of the City because
20 the project is consistent with the Land Use and Housing Elements. The Regional
21 Housing Needs Assessment (RHNA) for the Sixth Housing Element Cycle (2021-2029)
22 estimates that the City of Oceanside will experience demand for 5,443 new dwelling
23 units, including 718 low income units, over the next eight years. By contributing 64
24 rental dwelling units, including seven reserved for low income households, to the City's
25 existing housing stock, the proposed project would help to meet the City's projected
26 housing demand.
- 27 8. The area covered by the Development Plan can be adequately, reasonably and
28 conveniently served by existing and planned public services, utilities, and public
facilities. The project constitutes an infill development within an existing established

1 neighborhood in an urbanized part of the City.

- 2 9. The project, as proposed, is compatible with existing and potential development within
3 the surrounding area in that the vertical mixed-use multi-family development is
4 consistent with the pattern of redevelopment in the downtown area. In keeping with
5 smart growth principles, the current trend of redevelopment in Oceanside is to bring
6 forward high density vertically-oriented mixed-use development in order to
7 accommodate the City's regional fair share of housing growth, support commercial
8 establishments in the downtown area, enhance walkability, and support transit service.
9 The project would include a modern style of architecture with quality materials and
10 design in keeping with the vast variety of architectural designs in the surrounding
11 downtown area. The project is in a highly urbanized area consisting of commercial and
12 civic type land uses. The project, as designed and sited, would be consistent with the
13 surrounding built environment and would enhance the area by activating the streetscape
14 with a pedestrian plaza and street-facing commercial areas.
- 15 10. The site plan and physical design of the project is consistent with the policies contained
16 within Section 1.24 and 1.25 of the Land Use Element of the General Plan, the
17 Development Guidelines for Hillside, and Section 3039 of the Zoning Ordinance
18 because the property does not have slopes subject to the Hillside Ordinance.

19 For the Density Bonus Request (DB22-00007):

- 20 1. The affordable units will be reserved for tenancy by persons within the Low-income
21 category.
- 22 2. The affordable units have been designed to be proportional to the project's market-rate
23 units in terms of floor plan, square footage, and exterior design. The seven (7) designated
24 affordable units have the same or similar floor area as all market-rate units in the
25 development with the same bedroom count. The affordable units will be interspersed
26 throughout the complex and will have a similar appearance as the market-rate units.
- 27 3. The restrictive covenant associated with the affordable units will be for a period of 55
28 years.
4. The maximum allowable rent for the project's affordable units comply with State Law for

1 the Low-income category.

- 2 5. The project's affordable units are intended to be part of the City's Affordable Housing
3 rental stock, available at affordable housing costs, as defined in Health and Safety Code
4 Section 50053.
- 5 6. The project's affordable units will be for rent. The units will be rented to individuals that
6 meet the criteria for the specified low-income households as defined in Health and Safety
7 Code Section 50053.
- 8 7. The project is subject to the yearly accounting requirement to the Neighborhood
9 Services Department for the affordable units as outlined in Section 3032(M)(7) of the
10 Zoning Ordinance.

11 NOW, THEREFORE, the Community Development Commission of the City of Oceanside
12 does resolve as follows:

13 SECTION 1. That Tentative Parcel Map (RP22-00001), Development Plan (RD22-
14 00001), and request for Density Bonus (DB22-00001) is hereby approved subject to the following
15 conditions:

16 **Planning:**

- 17 1. This Tentative Parcel Map (RP22-00001) Development Plan (RD22-00002) and Density
18 Bonus (DB22-00007) shall expire 36 months from its approval, unless this time period is
19 extended by the provisions of Article 1 of the Zoning Ordinance.
- 20 2. This Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and
21 Density Bonus (DB22-00007) allows the construction of a mixed-use development
22 project comprised of 64 residential units, including seven (7) deed restricted to low-
23 income units, and 2,500 SF of commercial space located at 901 Pier View Way as
24 shown on the plans and exhibits presented to the Community Development Commission
25 for review and approval. No deviation from these approved plans and exhibits shall
26 occur without Planning Division approval. Substantial deviations shall require a revision
27 to the Tentative Parcel Map, Development Plan, and request for Density Bonus or a new
28 Tentative Parcel Map, Development Plan and request for Density Bonus.

- 1 3. The applicant, permittee, or any successor-in-interest shall defend, indemnify and hold
2 harmless the City of Oceanside, its agents, officers or employees from any claim, action
3 or proceeding against the City, its agents, officers, or employees to attack, set aside, void
4 or annul an approval of the City, concerning Tentative Parcel Map (RP22-00001),
5 Development Plan (RD22-00002) and Density Bonus (DB22-00007). The City will
6 promptly notify the applicant of any such claim, action or proceeding against the City
7 and will cooperate fully in the defense. If the City fails to promptly notify the applicant
8 of any such claim action or proceeding or fails to cooperate fully in the defense, the
9 applicant shall not, thereafter, be responsible to defend, indemnify or hold harmless the
10 City.
- 11 4. Prior to the issuance of building permits, compliance with the applicable provisions of
12 the City's anti-graffiti (Ordinance No. 93-19/Section 20.25 of the City Code) shall be
13 reviewed and approved by the Planning Division. These requirements, including the
14 obligation to remove or cover with matching paint all graffiti within 24 hours, shall be
15 noted on the Landscape Plan and shall be recorded in the form of a covenant affecting
16 the subject property.
- 17 5. Outdoor lighting shall be low emission, shielded, and directed away from neighboring
18 properties.
- 19 6. A covenant or other recordable document approved by the City Attorney shall be
20 prepared by the property owner and recorded prior to the issuance of a certificate of
21 occupancy. The covenant shall provide that the property is subject to this resolution, and
22 shall generally list the conditions of approval.
- 23 7. Prior to the transfer of ownership and/or operation of the site the owner shall provide a
24 written copy of the applications, staff report and resolutions for the project to the new
25 owner and or operator. This notification's provision shall run with the life of the project
26 and shall be recorded as a covenant on the property.
- 27 8. Failure to meet any conditions of approval shall constitute a violation of the Tentative
28 Parcel Map, Development Plan and Request for Density Bonus.

- 1 9. Unless expressly waived, all current zoning standards and City ordinances and policies
2 in effect at the time building permits are issued. The approval of this project constitutes
3 the applicant's agreement with all statements in the Description and Justification and
4 other materials and information submitted with this application, unless specifically
5 waived by an adopted condition of approval.
- 6 10. All units proposed as part of this project shall be rented for no less than 31-days.
- 7 11. The developer's construction of all fencing and walls associated with the project shall be
8 in conformance with the approved Development Plan. Any substantial change in any
9 aspect of fencing or wall design from the approved Development Plan shall require a
10 revision to the Development Plan or a new Development Plan.
- 11 12. Elevations, siding materials, colors, and floor plans shall be substantially the same as
12 those approved by the Community Development Commission. These shall be shown on
13 plans submitted to the Building Division and Planning Division.
- 14 13. All mechanical rooftop and ground equipment shall be screened from public view as
15 required by the Zoning Ordinance. The roof jacks, mechanical equipment, screen and
16 vents shall be painted with non-reflective paint to match the roof. This information shall
17 be shown on the building plans.
- 18 14. Project signage was not approved as part of this project. Signage for the site shall be
19 processed via separate permits and shall comply with Article 33 of the Zoning
20 Ordinance.
- 21 15. The developer is prohibited from entering into any agreement with a cable television
22 franchisee of the City, which gives such franchisee exclusive rights to install, operate,
23 and or maintain its cable television system in the development.
- 24 16. This project shall comply with all provisions of the City's Affirmative Fair Housing
25 Marketing Agreement policy. Such agreement shall be submitted to and approved by the
26 Housing and Neighborhood Services Director prior to the issuance of a building permit
27 for the project.
- 28 17. A letter of clearance from the affected school district in which the property is located
shall be provided as required by City policy at the time building permits are issued.

- 1 18. Construction of the proposed project shall comply with the California Administrative
2 Code. The building must be for a minimum exterior-to-interior noise reduction resulting
3 in interior noise levels, due to exterior sources, of 45 dBA CNEL or less. This noise
4 reduction could be achieved using standard construction methods, including but not
5 limited to mechanical ventilation, double-paned windows and acoustically insulated
6 doors where they face roadways.
- 7 19. Any trash, debris, or waste material found onsite during grading or cleanup operations
8 shall be disposed of off-site in accordance with local, state, and federal regulations. Any
9 buried trash/debris or materials containing petroleum encountered shall be evaluated
10 prior to removal and disposal.
- 11 20. In accordance with Density Bonus requirements, seven (7) dwelling units shall be
12 reserved for rental to low income households. These affordable units shall be provided
13 proportional to the overall project in unit size, dispersed throughout the project, and have
14 access to all amenities available to other residents. The city shall determine the eligibility
15 of the low-income households. A deed restriction, covenant, and/or other instrument
16 enforceable by the city and approved by the City Attorney and Director of Housing and
17 Neighborhood Services, limiting the rental of such units to eligible low-income
18 households shall be recorded against the title of the property. The duration of such rental
19 restrictions shall be in effect for a minimum of fifty-five (55) years. Additionally, the
20 property shall be so restricted as to prohibit the conversion of the restricted units for the
21 term of the rent restriction to a condominium, stock cooperative, community apartment, or
22 such other form of ownership which would eliminate the restricted units as rental units.
- 23 21. The required "Affordable Housing Regulatory Agreement" shall be recorded against the
24 project site prior to the issuance of any permits for the project.
- 25 22. Prior to issuance of any building or grading permit, the director of housing and
26 neighborhood services shall certify that the proposed development has complied with the
27 requirements for inclusionary housing and all provisions of Chapter 14C by providing
28 the seven (7) low-income units.

1 23. Prior to issuance of any demolition permits, the applicant shall photo document the
2 existing structures on site and in compliance with OHAPC Policy 1.

3 24. An association shall be formed and Covenants, Conditions and Restrictions (C.C. & R's)
4 shall provide for the maintenance of all common open space and commonly owned
5 fences and walls. The maintenance shall include normal care and irrigation of
6 landscaping, repair and replacement of plant material and irrigation systems as
7 necessary; and general cleanup of the landscaped and open area, parking lots and
8 walkways. The C.C. & R's shall be subject to the review and approval of the City
9 Attorney prior to the approval of the Final Map. The C.C. & R's are required to be
10 recorded prior to or concurrently with the Final Map. Any amendments to the C.C. &
11 R's in which the association relinquishes responsibility for the maintenance of any
12 common open space shall not be permitted without the specific approval of the City of
13 Oceanside. Such a clause shall be a part of the C.C. & R's. The C.C. & R's shall also
14 contain provisions for the following:

- 15 a) Provisions regulating individual patio covers, prohibiting room additions, and other
16 appurtenances.
- 17 b) Provisions for the maintenance of all common open space and open space
18 easements on private lots, including provisions establishing mechanisms to ensure
19 adequate and continued monetary funding for such maintenance by the
20 homeowners' association.
- 21 c) Prohibition of parking or storage of recreational vehicles, trailers or boats.
- 22 d) Provisions that restrict any private use of open space easement areas. Restrictions
23 shall include, but are not limited to, removing retaining walls, installing structures
24 such as trellises, decks, retaining walls and other hardscape and any individual
25 landscape improvements.
- 26 e) Provisions prohibiting the homeowners association from relinquishing its obligation
27 to maintain the common open space and open space easement areas without prior
28 consent of the City of Oceanside.

1 f) An acknowledgement that the City of Oceanside does not have a view preservation
2 ordinance and those views may be subject to change with maturing off-site
3 landscape and the potential for future off-site building.

4 25. Parking spaces shall be kept available and usable for the parking of tenants' vehicles at
5 all times.

6 26. The parking or storage of recreational vehicles, trailers or boats within the parking
7 spaces is prohibited.

8 27. At all times, the alley shall be free of obstructions, including private vehicles and other
9 objects. Vehicles or other objects shall not project over the property line or obstruct the
10 alley.

11 28. The applicant shall comply with the requirements of Section 3047, Renewable Energy
12 Facilities, of the Zoning Ordinance. If supplying 50 percent of the project's anticipated
13 energy demand on-site proves infeasible, the applicant shall work with staff to come up
14 with an acceptable alternative. The applicant shall work with staff to ensure that the
15 requirements of Section 3047(A) are met prior to issuance of a Certificate of Occupancy
16 and/or the final inspection for the project or to the satisfaction of the City Planner.

17 29. The project shall comply with the requirements of Section 3048, Electric Vehicle and
18 Charging Facilities, of the Zoning Ordinance.

19 30. The project shall comply with the requirements of Section 3049, Urban Forestry
20 Program, of the Zoning Ordinance. The project must also provide a Landscape and Tree
21 Canopy Management Plan (LTCMP). The LTCMP shall include information regarding
22 regular, seasonal, and emergency maintenance, trash abatement, irrigation, tree/plant
23 care, tree replacement, insect and disease infestation prevention, integrated pest
24 management, and appropriate response process etc. Projects that do not maintain
25 landscape in a manner consistent with the approved LTCMP shall be subject to code
26 enforcement action.

27 31. The residential and commercial aspects of this project shall be developed and opened
28 simultaneously as a single Mixed-Use project. No deferral of the commercial use shall
be permitted as the project's approval was for a Mixed-Use project.

1 32. In the event any subsurface archaeological or cultural resources are encountered during
2 grading or construction activities, such activities in the locality of the find shall be halted
3 immediately. An archaeologist, certified by the Society of Professional Archaeologists
4 (SOPA) and a Luiseño Native American Monitor, shall be brought in to determine the
5 significance of the archaeological or cultural resources and implement appropriate
6 mitigations prior to commencement of earthwork.

7 **Building:**

8 33. The design for this Building shall meet the Exiting requirements for those with a
9 Disability per Chapter 1009 of the 2023 California Building Code

10 34. Yards and courts must meet the requirements of CBC 1205.2 and 1205.3

11 35. Exterior openings must meet requirements of CBC Table 705.8

12 36. Elevator Lobbies must be enclosed or have automatic doors that shut per CBC 3006.

13 37. Where mixed occupancy buildings contain incidental use areas, the following shall
14 apply:

15 a. Clearly identify on plans whether there are any incidental use areas that are separated
16 from other portions of the building pursuant to CBC.

17 b. The protection used for incidental use areas may include automatic fire sprinklers,
18 fire-resistance rated construction, or both. Identify such protection in the incidental use
19 areas on each floor plan.

20 38. Where mixed occupancy buildings contain nonseparated uses, the following shall apply:

21 a. Clearly identify on plans whether nonseparated uses will be utilized pursuant to
22 CBC 508.3.

23 b. Clearly acknowledge on the plans that the use of nonseparated occupancies
24 requires the most restrictive provisions of CBC 403 and Chapter 9 to apply to the
25 entire building.

26 c. The adjoining nonseparated uses must be clearly identified on all floor plans,
27 including the boundary of such areas

28 d. The project must be designed to meet the requirements of the more restrictive
occupancy for the following: (Area) (Height) (Egress) (Fire Sprinklers) (Other)

1 e. Per Table 705.8 Walls 3 to 5 feet from the PL must not have opening of more than
2 15%, walls 5 to 10 not less than 25%, walls 10 to 15 feet not more than 45%.

3 39. Where mixed occupancy buildings contain separated uses, the following shall apply:

4 a. Clearly identify on plans the boundary of each adjoining occupancy that will be
5 separated pursuant to CBC 508.4

6 b. Fire-resistance rated walls used to separate adjoining occupancies shall be
7 constructed as fire barriers in accordance with Section 707; fire partitions shall
8 not be allowed. (CBC 508.4.4.1)

9 c. Fire-resistance rated floor-ceiling assemblies used to separate adjoining
10 occupancies shall comply with CBC 711. (CBC 711.2.4.1)

11 40. Where mixed occupancy buildings contain accessory areas, the aggregate area of all
12 accessory areas within a single occupancy shall not exceed 10% of the floor area of the
13 primary occupancy. (CBC 508.2.3)

14 41. Clearly label and identify on plans (fire walls, fire barriers, fire partitions, shafts, smoke
15 barriers, and smoke partitions), along with their fire-resistance ratings. Provide a legend.

16 42. Submit an exit analysis plan that labels and clearly shows compliance with all required
17 egress features such as, but not limited to, common path of travel, required number of
18 exits, occupant load, required width, continuity, travel distance, etc. (CBC 1001.1)

19 43. Means of egress doors shall be readily distinguishable from the adjacent construction
20 and finishes such that the doors are easily recognizable as doors. Mirrors or similar
21 reflecting materials shall not be used on means of egress doors. Means of egress doors
22 shall not be concealed by curtains, drapes, decorations or similar materials. (CFC
23 1010.1)

24 44. The building plans for this project are required by State law to be prepared by a licensed
25 architect or engineer.

26 45. Compliance with the Federal Clean Water Act (BMP's) shall be demonstrated on the
27 plans.

28 46. All outdoor lighting shall meet Chapter 39 of the City Code (Light Pollution Ordinance)
and shall be shielded appropriately.

1 47. Separate/unique addresses may be required to facilitate utility releases. Verification that
2 the addresses have been properly assigned by the City's Planning Division shall
3 accompany the Building Permit application.

4 48. A form or foundation survey shall be required prior to the placement of concrete to show
5 the location of the new structure in respect to the property lines, known easements, and
6 known setback lines. By obtaining a form survey the location of the foundation is
7 checked prior to the placement of concrete, and can save costly corrective measures in
8 case of an encroachment of a property line.

9 49. Exterior walls of all buildings shall comply with CBC table 705.2

10 705.2 Projections

11 Cornices, eave overhangs, exterior balconies and similar projections extending beyond
12 the exterior wall shall conform to the requirements of this section and Section 1406.

13 Exterior egress balconies and exterior exit stairways and ramps shall comply with
14 Sections 1021 and 1027, respectively. Projections shall not extend any closer to the line
15 used to determine the fire separation distance than shown in Table 705.2.

16 50. 1023.7 Interior Exit Stairway and Ramp Exterior Walls

17 Exterior walls of the interior exit stairway or ramp shall comply with the requirements of
18 Section 705 for exterior walls. Where nonrated walls or unprotected openings enclose
19 the exterior of the stairway or ramps and the walls or openings are exposed by other
20 parts of the building at an angle of less than 180 degrees (3.14 rad), the building exterior
21 walls within 10 feet (3048 mm) horizontally of a nonrated wall or unprotected opening
22 shall have a fire-resistance rating of not less than 1 hour. Openings within such exterior
23 walls shall be protected by opening protectives having a fire protection rating of not less
24 than 3/4 hour. This construction shall extend vertically from the ground to a point 10
25 feet (3048 mm) above the topmost landing of the stairway or ramp, or to the roof line,
26 whichever is lower.

27 51. Site development, parking, access into buildings and building interiors shall comply
28 WITH ALL CURRENT State of California Accessibility Code where required. No

1 Accessible parking shown on current plans. You must clearly show compliance on the
2 plans.

- 3 a. Buildings or portions of buildings and facilities within the scope of this chapter
4 shall be accessible to persons with disabilities. Each building on a building site
5 shall be considered separately when determining the requirements contained in
6 this chapter, except when calculating the number of units which must comply
7 with Section 1102A.3.1. Dwelling units within a single structure separated by
8 firewalls do not constitute separate buildings.
- 9 b. Newly-constructed covered multifamily dwellings as defined in this chapter,
10 include, but are not limited to, the following:
- 11 c. Apartment buildings with 3 or more dwelling units including timeshare
12 apartments not considered a place of public accommodation or transient lodging
13 as defined in Health and Safety Code Section 19955 (a), and Chapter 2 of the
14 California Building Code.
- 15 d. Condominiums with 4 or more dwelling units including timeshare condominiums
16 not considered a place of public accommodation or transient lodging as defined in
17 Health and Safety Code Section 19955 (a), and Chapter 2 of the California
18 Building Code.
- 19 e. Lodging houses, as defined in Chapter 2 of the California Building Code, used as
20 a residence with more than 3 but not more than 5 guest rooms.
- 21 f. Congregate residences, as defined in Chapter 2 of the California Building Code,
22 with 3 or more sleeping units.
- 23 g. Dwellings with 3 or more efficiency units, as defined in Chapter 2 of this code, or
24 Section 17958.1 of the California Health and Safety Code.
- 25 h. Shelters for homeless persons, not otherwise subject to the disabled access
26 provisions of the Division of the State Architect-Access Compliance (DSA-AC).
- 27 i. Dormitories, as defined in Chapter 2 of this code, with 3 or more guest rooms as
28 defined in Chapter 2 of the California Building Code.

- 1 j. Timeshare dwellings with 3 or more units, not considered a place of public
2 accommodations or transient lodging as defined in Health and Safety Code
3 Section 19955 (a), and Chapter 2 of the California Building Code.
4 k. Other Group R occupancies in covered multifamily dwellings which are regulated
5 by the Office of the State Fire Marshal. See Section 1.11.
6 l. Public housing as defined in Chapter 2 of this code is subject to provisions of the
7 Division of the State Architect (DSA-AC) in Chapter 11B. Newly constructed
8 covered multifamily dwellings, which can also be defined as public housing, shall
9 be subject to the requirements of Chapter 11A and Chapter 11B.

10 1102A.3.2 Multistory dwelling units in buildings with one or more elevators

11 Multistory dwelling units contained in buildings with elevators shall comply with
12 this section. For multistory dwelling units in buildings with elevators, the story of
13 the unit that is served by the building elevator is considered a ground floor and
14 the primary entry floor to the unit and shall comply with the following:

- 15 i. At least 1 powder room or bathroom shall be located on the primary entry
16 level.
17 ii. At least 1 kitchen shall be located on the primary entry level.
18 iii. All rooms or spaces located on the primary entry level shall be served by
19 an accessible route and shall comply with Division IV.

20 52. 1109A.3 Required accessible parking spaces

21 Accessible parking spaces shall be provided at a minimum rate of 2 percent of the
22 covered multifamily dwelling units. At least one space of each type of parking facility
23 shall be made accessible even if the total number exceeds 2 percent.

24 53. 1109A.7 Location of accessible parking spaces

25 a. The location of accessible parking spaces shall comply with the following:

- 26 i. Accessible parking spaces shall be located on the shortest possible
27 accessible route to an accessible building, or covered multifamily dwelling
28 unit entrance. All van accessible spaces may be grouped on one level of a
multilevel parking facility. Please illustrate compliance on the plans.

- 1 ii. When parking facilities are located adjacent to a building with multiple
- 2 accessible entrances, accessible parking spaces shall be dispersed and
- 3 located near the accessible building entrances.
- 4 iii. When practical, the accessible route shall not cross lanes for vehicular
- 5 traffic. When crossing vehicle traffic lanes is necessary, the accessible
- 6 route shall be designated and marked as a crosswalk.
- 7 iv. Parking facilities that do not serve a particular building shall have
- 8 accessible parking spaces located on the shortest possible accessible route
- 9 to an accessible pedestrian entrance of the parking facility.
- 10 v. Accessible parking spaces shall be located so that persons with disabilities
- 11 are not compelled to wheel or walk behind parked cars other than their
- 12 own.
- 13 vi. Exception: When the enforcement agency determines that compliance with
- 14 this section or providing equivalent facilitation would create an
- 15 unreasonable hardship, parking spaces may be provided which would
- 16 require a person with physical disabilities to wheel or walk behind other
- 17 than accessible parking spaces.

18 54. A complete set of Soil Reports, Structural Calculations, Energy Calculations, &
19 California Title 24 Energy Form(s) shall be required at time of plans submittal to the
20 Building Division for plan check.

21 55. City of Oceanside Enforces the 2019 California Green Building Standards Code. A
22 Construction Waste Management Plan shall be required at time of plans submittal to the
23 Building Division for plan check.

- 24 a. 5.408.1 Construction waste diversion. Recycle and/or salvage for reuse a
- 25 minimum of 65 percent of the nonhazardous construction and demolition waste in
- 26 accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local
- 27 construction and demolition waste management ordinance, whichever is more
- 28 stringent.

- 1 b. 5.408.1.1 Construction waste management plan. Where a local jurisdiction does
2 not have a construction and demolition waste management ordinance that is more
3 stringent, submit a construction waste management plan that:
- 4 i. Identifies the construction and demolition waste materials to be diverted
5 from disposal by efficient usage, recycling, reuse on the project or salvage
6 for future use or sale.
 - 7 ii. Indicates if construction and demolition waste materials will be sorted on-
8 site (source-separated) or bulk mixed (single stream).
 - 9 iii. Identifies diversion facilities where construction and demolition waste
10 material collected will be taken.
 - 11 iv. Specifies that the amount of construction waste and demolition materials
12 diverted shall be calculated by weight or volume, but not by both.
- 13 56. Plans must specify, as applicable, the type of automatic sprinkler system – NFPA 13,
14 NFPA 13R, or NFPA 13D – installed in each building.
- 15 57. The construction documents and/or site plan should indicate the location and required
16 number of designated parking stalls. These parking spaces should be marked “CLEAN
17 AIR/VANPOOL/EV.” The markings should be visible when a clean air vehicle is
18 parked. In other words, if the front of the vehicle goes into the parking stall first, the
19 markings should be visible at the back end of the vehicle. Lettering should be at least 8
20 inches high. The CLEAN AIR/VANPOOL/EV parking stalls may be located anywhere
21 on the site and do not require a preferential location. Refer to Table 5.106.5.2 in CAL
22 Green to ensure that the correct number of designated parking stalls is provided. Include
23 all parking spaces in the calculation. 2019 Cal Green Section 5.106.5.2
- 24 58. All electrical, communication, CATV, etc. service lines within the exterior lines of the
25 property shall be underground (City Code Sec. 6.30).
- 26 59. This Building shall meet the midrise requirements of the City of Oceanside Municipal
27 Code.
- 28 60. Elevator car must be to accommodate an emergency gurney sized 84 x 24 inches in the
horizontal position.

- 1 61. An enclosed elevator lobby – separating the elevator shaft enclosure doors from each
2 floor with fire partitions. – shall be provided at each floor where an elevator shaft
3 enclosure connects more than two stories in A, E, H, I, L, R-1, R-2, and R-2.1
4 occupancies and more than three stories in all other occupancies (CBC 3006.2, CBC
5 3006.3).
- 6 62. Electric vehicle (EV) charging. [N] Construction shall comply with Section 5.106.5.3.1
7 or 5.106.5.3.2 to facilitate future installation of electric vehicle supply equipment
8 (EVSE) in compliance with California Building Code (CBC) and California Electrical
9 Code (CEC). Multiple charging space requirements. [N] When multiple charging spaces
10 are required per Table 56.106.5.3.3, raceway(s) is/are required to be installed at the time
11 of construction and shall be installed in accordance with CEC. Construction plans and
12 specifications shall comply with CGBSC 5.106.5.3.2
- 13 63. The developer shall monitor, supervise and control all building construction and
14 supportive activities so as to prevent these activities from causing a public nuisance,
15 including, but not limited to, strict adherence to the following:
16 Construction hour limitations.
- 17 a. It shall be unlawful to operate equipment or perform any construction in the
18 erection, demolition, alteration, or repair of any building or structure or the
19 grading or excavation of land during the following hours:
 - 20 (1) Before 7:00 a.m. and after 7:00 p.m. Monday through Saturday.
 - 21 (2) All day on Sunday; and
 - 22 (3) On any federal holiday.
 - 23 b. Exceptions.
 - 24 (1) An owner/occupant or resident/tenant of residential property may engage in a
25 home improvement project between the hours of 9:00 a.m. and 5:00 p.m. on
26 Sundays and holidays provided the project is for the benefit of said residential
27 property and is personally carried out by said owner/occupant or resident/tenant.
 - 28 (2) The building official may authorize extended or alternate hours of
construction for the following circumstances:

- a. Emergency work.
- b. Adverse weather conditions.
- c. Compatibility with store business hours.
- d. When the work is less objectionable at night than during daylight hours.
- e. Per direction of the city manager's office for projects that have been determined that rapid completion is in the best interest of the general public.

64. This development review checklist is not intended to be a complete review for any project. Further review will be required during a Building permit application and plan submittal. This checklist is intended to address any significant design considerations based on the type of Building, location of building, and proposed use of a Building.

65. The 2019 triennial edition of the California Code of Regulations, Title 24 (California Building Standards Code) applies to all occupancies that applied for a building permit on or after January 1, 2017, and remains in effect until the effective date of the 2022 triennial edition which will be January 1, 2023.

66. Beginning on January 1, 2023, Oceanside Development Services (ODS) is required by State law to enforce the 2022 Edition of California Building Standards Codes (a.k.a., Title 24 of the California Codes of Regulations).

67. Every three years, the State adopts new model codes (known collectively as the California Building Standards Code) to establish uniform standards for the construction and maintenance of buildings, electrical systems, plumbing systems, mechanical systems, and fire and life safety systems.

68. Sections 17922, 17958 and 18941.5 of the California Health and Safety Code require that the latest edition of the California Building Standards code and Uniform Housing Code apply to local construction 180 days after publication.

- Part 2: The 2019 California Building Code (CBC).
- Part 2.5: The 2019 California Residential Code (CRC).
- Part 3: The 2019 California Electrical Code (CEC).
- Part 4: The 2019 California Mechanical Code (CMC).

- Part 5: The 2019 California Plumbing Code (CPC).
- Part 6: The 2019 California Energy Code
- Part 9: The 2019 California Fire Code (CFC)
- Part 11: The 2019 California Green Building Standards Code

(CALGreen Code) This Part is known as the California Green Building Standards Code, and it is intended that it shall also be known as the CALGreen Code.

Engineering:

69. Prior to the demolition of any existing structure or surface improvements on site, a grading plan application shall be submitted to the Engineering Division and erosion control plans shall be approved by the City Engineer. No demolition shall be permitted without an approved erosion control plan.
70. Design and construction of all improvements shall be in accordance with the City of Oceanside's Engineers Design and Processing Manual, City Ordinances, standard engineering and specifications of the City of Oceanside, and subject to approval by the City Engineer.
71. All right-of-way alignments, street dedications, exact geometrics and widths shall be designed, dedicated, and constructed or replaced in accordance with the City of Oceanside Engineers Design and Processing Manual, and as required by the City Engineer.
72. Owner/developer shall provide an updated Title Report dated within 6 months of the grading plan application submittal.
73. The approval of the tentative parcel map shall not mean that closure, vacation, or abandonment of any public street, right of way, easement, or facility is granted or guaranteed to the owner/developer. The owner/developer is responsible for applying for all closures, vacations, and abandonments as necessary. The application(s) shall be reviewed and approved or rejected by the City of Oceanside under separate process (es) per codes, ordinances, and policies in effect at the time of the application. The City of Oceanside retains its full legislative discretion to consider any application to vacate a public street or right of way.

- 1 74. Owner/developer shall submit to the City for processing a covenant attesting to the
2 project's development conditions. The approved covenant shall be recorded at the
3 County prior to the issuance of a grading permit.
- 4 75. All public improvement requirements shall be covered by a Subdivision Improvement
5 Agreement and secured with sufficient improvement securities or bonds guaranteeing
6 performance and payment for labor and materials, setting of survey monuments, and
7 warranties against defective materials and workmanship before the approval of the
8 public improvement plans.
- 9 76. Prior to the issuance of any building permits, all improvements including landscaping,
10 landscaped medians, frontage improvements shall be under construction to the
11 satisfaction of the City Engineer.
- 12 77. Prior to the issuance of a Certificate of Occupancy permit, all improvements, including
13 landscaping, landscaped medians, frontage improvements shall be completed to the
14 satisfaction of the City Engineer.
- 15 78. Prior to approval of the parcel map, provide the City of Oceanside with certification
16 from each public utility and each public entity owning easements within the proposed
17 project stating that: (a) they have received from the owner/developer a copy of the
18 proposed map; (b) they object or do not object to the filing of the map without their
19 signature; (c) in case of a street dedication affected by their existing easement, they will
20 sign a "subordination certificate" or "joint-use certificate" on the map when required by
21 the governing body.
- 22 79. The tract shall be recorded and developed as one. The City Engineer shall require the
23 dedication and construction of necessary utilities, streets and other improvements
24 outside the area of any particular map, if such is needed for circulation, parking, access
25 or for the welfare or safety of future occupants of the development.
- 26 80. Vehicular access rights to Pier View Way and North Clementine shall be relinquished to
27 the City from all abutting lots except at the proposed driveway(s). Process an access
28 relinquishment application with the City prior to the issuance of a grading permit, and
record the approved document prior to the grading plan As-Builts.

1 81. A traffic control plan shall be prepared in accordance with the City's traffic control
2 guidelines and approved by the City Engineer prior to the start of work within the public
3 Right-of-Way. Traffic control safety and implementation for construction or re-
4 construction of streets shall be in accordance with construction signing, marking, and
5 other protection as required by Caltrans' Traffic Manual and City Traffic Control
6 Guidelines. Traffic control plan implementation and hours shall be in accordance with
7 the approved traffic control plans.

8 **STREET IMPROVEMENT CONDITION**

9 82. Proposed public improvements located within the City's ROW or onsite shall be
10 displayed on separate public improvement plans in accordance with the City's
11 Engineer's Design and Processing Manual.

12 83. Any existing public or private improvements that are being joined to and that are already
13 damaged or damaged during construction of the project, shall be repaired or replaced as
14 necessary by the developer to provide a competent and stable connection, and to the
15 City's satisfaction.

16 84. An Encroachment Removal Agreement (ERA) application shall be submitted to the City
17 for proposed private improvements located within the City's ROW along North
18 Clementine Street or over any City easements. The ERA shall be submitted for review
19 prior to the issuance of a grading permit and recorded at the County prior to
20 improvement plan As-Builts.

21 85. North Clementine Street shall be constructed with new curb and gutter and sidewalk.
22 Sidewalk improvements (construct/replace) shall comply with current ADA
23 requirements.

24 86. The existing pedestrian ramp at the corner of North Clementine Street and Pier View
25 Way shall be reconstructed to comply with current ADA requirements.

26 87. Publicly-maintained pedestrian ramps (maintained by the City of Oceanside) must be
27 located entirely within the public right-of-way (ROW). Pedestrian ramps not located
28 entirely within the City's ROW shall be provided with a ROW dedication on the parcel
map and shown on the improvement plans and grading plans. The ROW dedication shall

1 be submitted prior to the approval of the grading plans and recorded prior to the grading
2 plan As-Builts.

3 88. Minimum curb return radius at driveway locations shall comply with the City of
4 Oceanside Engineers Design and Processing Manual.

5 89. North Clementine Street and Pier View Way shall be provided with a 10-foot minimum
6 parkway between the face of curb and Right-of-Way line, and the design shall be
7 displayed on the improvement plans.

8 90. Full width and depth alley improvements, including the installation of a longitudinal
9 concrete ribbon gutter, shall be shown on separate public improvement plans and
10 designed in accordance with the City of Oceanside Engineers Design and Processing
11 Manual.

12 91. Proposed vertical improvements adjacent to alley roadways at a height greater than 30
13 inches and that would have the potential to obstruct the driver's line-of-sight are not
14 allowed. Existing vertical obstructions should be removed or lowered, if practical. Such
15 obstructions may include buildings, hedges, trees, bushes, un-mowed grass, tall crops,
16 walls, fences, and terrain itself.

17 **PAVEMENT EVALUATION FOR OFFSITE**

18 92. A pavement evaluation report shall be submitted for offsite street and/or alley pavements
19 with the grading plan application. The owner/developer shall contract with a
20 geotechnical engineering firm to perform a field investigation of the existing pavement
21 on all streets adjacent to the project boundary. The limits of the study shall be half-street
22 width along the project's Pier View Way, North Clementine Street and public alley
23 frontage. The field investigation shall be performed according to a specific boring plan
24 prepared by a licensed Geotechnical Engineer and approved by the City Engineer prior
25 to the issuance of a grading permit. In the absence of an approved boring plan, the field
26 investigation shall include a minimum of one pavement boring per every fifty linear feet
27 (50) linear feet of street frontage. Should the study conclude that the existing road
28 pavement does not meet current pavement thickness requirements set forth in the City of
Oceanside Engineers Design and Processing Manual, the Owner/developer shall remove

1 and reconstruct the existing pavement section in accordance with City requirements.
2 Otherwise, the City Engineer shall determine whether the Owner/developer shall: 1)
3 Repair all failed pavement sections, 2) header cut and grind per the direction of the City
4 Engineer, or 3) Perform R-value testing and submit a study that determines if the
5 existing pavement meets current City standards/traffic indices.

6 93. A precise grading plan, which includes proposed onsite private improvements, shall be
7 prepared, reviewed, secured and approved prior to the issuance of any building permit.
8 The plan shall reflect all pavement, flatwork, landscaped areas, special surfaces, curbs,
9 gutters, medians, striping, and signage, footprints of all structures, walls, drainage
10 devices and utility services. Parking lot striping and any on site traffic calming devices
11 shall be shown on the precise grading plans.

12 94. The approval of the development plan shall not mean that proposed grading or
13 improvements on adjacent properties (including any City properties/right-of-way or
14 easements) is granted or guaranteed to the owner/developer. The owner/developer is
15 responsible for obtaining written permission to grade or construct on adjacent properties
16 prior to the issuance of a grading permit. Should such permission be denied, the
17 development plan shall be subject to going back to public hearing or subject to a
18 substantial conformity review.

19 95. Where proposed off-site improvements, including but not limited to slopes, public utility
20 facilities, and drainage facilities, are to be constructed, owner/developer shall, at his own
21 expense, obtain all necessary easements or other interests in real property and shall
22 dedicate the same to the City of Oceanside as required. Owner/developer shall provide
23 documentary proof satisfactory to the City of Oceanside that such easements or other
24 interest in real property have been obtained prior to the issuance of any grading, building
25 or improvement permit for this development/project. Additionally, the City of
26 Oceanside, may at its sole discretion, require that the owner/developer obtain at his sole
27 expense a title policy insuring the necessary title for the easement or other interest in real
28 property to have vested with the City of Oceanside or the owner/ developer, as
applicable.

- 1 96. Use of adjacent properties for construction without permission is prohibited. Developer
2 is required to obtain written permission from adjacent property owners allowing access
3 onto their site. There shall be no trespassing, grading, or construction of any kind on
4 adjacent properties without permission. "Failure to comply will result in the revocation
5 of the grading permit." This written permission shall be provided to the City prior to the
6 issuance of a grading permit.
- 7 97. A pavement evaluation report shall be submitted for the proposed onsite pavement with
8 the grading plan application. Pavement sections for all public and private roadways,
9 driveways and parking areas shall be based upon approved soil test requirements and
10 traffic indices identified within the City of Oceanside Engineers Design and Processing
11 Manual. The pavement design is to be prepared by the owner/developer's geotechnical
12 engineering firm and be approved by the City Engineer prior to the issuance of a grading
13 permit. Roadway alignments and geometric layouts shall be in conformance with the
14 City of Oceanside Engineers Design and Processing Manual.
- 15 98. Prior to the issuance of a grading permit, a comprehensive soil and geologic
16 investigation shall be conducted for the project site. All necessary measures shall be
17 taken and implemented to assure slope stability, erosion control, and soil integrity; and
18 these measures shall be incorporated as part of the grading plan design. No grading shall
19 occur at the site without a grading permit.
- 20 99. It is the responsibility of the owner/developer to evaluate and determine that all soil
21 imported as part of this development is free of hazardous and/or contaminated material
22 as defined by the City and the County of San Diego Department of Environmental
23 Health. Exported or imported soils shall be properly screened, tested, and documented
24 regarding hazardous contamination.
- 25 100. Owner/developer shall develop and submit a draft neighborhood-notification flier to the
26 City for review. The flier shall contain information on the project, construction schedule,
27 notification of anticipated construction noise and traffic, and contact information. Prior
28 to the issuance of a grading permit, the approved flier shall be distributed to area

1 residents, property owners, and business owners located within a 300-foot radius area of
2 the project.

3 101. The project shall provide and maintain year-round erosion control for the site. Prior to
4 the issuance of a grading permit, an approved erosion control plan, designed for all
5 proposed stages of construction, shall be secured by the owner/developer with cash
6 securities or a Letter-of-Credit and approved by the City Engineer; a Certificate of
7 Deposit will not be accepted for this security.

8 102. Owner/developer shall monitor, supervise and control all construction and construction-
9 supportive activities, so as to prevent these activities from causing a public nuisance,
10 including but not limited to, ensuring strict adherence to the following:

11 a. Dirt, debris and other construction material shall not be deposited on any public
12 street or into the City's storm water conveyance system.

13 b. All grading and related site preparation and construction activities shall be limited to
14 the hours of 7 AM to 6 PM, Monday through Friday. No engineering-related
15 construction activities shall be conducted on Saturdays, Sundays or legal holidays
16 unless written permission is granted by the City Engineer with specific limitations to
17 the working hours and types of permitted operations. All on-site construction staging
18 areas shall be located as far as possible (minimum 100 feet) from any existing
19 residential development. As construction noise may still be intrusive in the evening
20 or on holidays, the City of Oceanside Noise Ordinance also prohibits "any disturbing
21 excessive or offensive noise which causes discomfort or annoyance to reasonable
22 persons of normal sensitivity."

23 c. The construction site shall accommodate the parking of all motor vehicles used by
24 persons working at or providing deliveries to the site. An alternate parking site can
25 be considered by the City Engineer in the event that the lot size is too small and
26 cannot accommodate parking of all motor vehicles.

27 d. Owner/developer shall complete a haul route permit application (if required for
28 import/export of dirt) and submit to the City of Oceanside Transportation

1 Engineering Section forty-eight hours (48) in advance of beginning of work. Hours
2 of hauling operations shall be dictated by the approved haul route permit.

3 103. Landscape and irrigation plans for disturbed areas shall be submitted to the City
4 Engineer prior to the issuance of a grading permit and approved by the City Engineer
5 prior to the issuance of building permits. Landscaping plans, including plans for the
6 construction of walls, fences or other structures at or near intersections, must conform to
7 intersection sight distance requirements. Frontage and median landscaping shall be
8 installed and established prior to the issuance of any certificates of occupancy. Securities
9 shall be required only for landscape items in the public right-of-way. Any project fences,
10 sound or privacy walls and monument entry walls/signs shall be shown on, bonded for
11 and built from the approved landscape plans. These features shall also be shown on the
12 precise grading plans for purposes of location only. Plantable, segmental walls shall be
13 designed, reviewed and constructed from grading plans and landscape/irrigation
14 design/construction shall be from landscape plans. All plans must be approved by the
15 City Engineer and a pre-construction meeting held prior to the start of any
16 improvements.

17 104. Unless an appropriate barrier is approved on a landscape plan, a minimum 42-inch high
18 barrier, approved by the City Engineer, shall be provided at the top of all slopes whose
19 height exceeds 20 feet or where the slope exceeds 4 feet and is adjacent to any streets, an
20 arterial street or state highway.

21 105. The drainage design shown on the conceptual grading/site plan, and the drainage report
22 for this development plan is conceptual only. The final drainage report and design shall
23 be based upon a hydrologic/hydraulic study that is in accordance with the latest San
24 Diego County Hydrology and Drainage Manual, and is to be approved by the City
25 Engineer prior to the issuance of a grading permit. All drainage picked up in an
26 underground system shall remain underground until it is discharged into an approved
27 channel, or as otherwise approved by the City Engineer.

28 106. The project's drainage system shall not connect or discharge to another private storm
 drain system without first obtaining written permission from the owner of the system.

1 The written permission letter shall be provided to the City prior to the issuance of a
2 grading permit. The owner/developer shall be responsible for obtaining any off-site
3 easements for storm drainage facilities.

4 107. All public storm drains shall be shown on separate public improvement plans. Public
5 storm drain easements shall be dedicated to the City where required.

6 108. Drainage facilities shall be designed and installed to adequately accommodate the local
7 storm water runoff, and shall be in accordance with the San Diego County Hydrology
8 Manual and the City of Oceanside Engineers Design and Processing Manual, and to the
9 satisfaction of the City Engineer.

10 109. Storm drain facilities shall be designed and constructed to allow inside travel lanes of
11 streets classified as a Collector or above, to be passable during a 100-year storm event.

12 110. Sediment, silt, grease, trash, debris, and pollutants shall be collected on site and disposed
13 of in accordance with all state and federal requirements, prior to discharging of
14 stormwater into the City drainage system.

15 111. The project is categorized as a stormwater-Priority Development Project (PDP). A final
16 Storm Water Quality Management Plan (SWQMP) and Operation & Maintenance
17 (O&M) Plan shall be submitted to the City for review at the final engineering phase.
18 Both documents are to be approved prior to the issuance of a grading permit.

19 112. The O&M Plan shall include an approved and executed Maintenance Mechanism
20 pursuant to the City of Oceanside BMP Design Manual (BDM). At a minimum, the
21 O&M Plan shall include the designated responsible party to manage the storm water
22 BMP(s), employee training program and duties, operating schedule, maintenance
23 frequency, routine service schedule, specific maintenance activities, copies of resource
24 agency permits, cost estimate for implementation of the O&M Plan, a non-refundable
25 cash security to provide maintenance funding in the event of noncompliance to the
26 O&M Plan, and any other necessary elements. The owner/developer shall complete and
27 maintain O&M forms to document all operation, inspection, and maintenance activities.
28 The owner/developer shall retain records for a minimum of 10 years. The records shall
be made available to the City upon request.

- 1 113. The owner/developer shall enter into a City-Standard Stormwater Facilities Maintenance
2 Agreement (SWFMA) with the City, obliging the owner/developer to maintain, repair
3 and replace the Storm Water Best Management Practices (BMPs) structures identified in
4 the project's approved SWQMP, as detailed in the O&M Plan, in perpetuity.
5 Furthermore, the SWFMA will allow the City with access to the site for the purpose of
6 BMP inspection and maintenance, if necessary. The Agreement shall be approved by the
7 City Attorney's Office and recorded at the County Recorder's Office prior to the
8 issuance of a precise grading permit. A non-refundable **Security in the form of cash**
9 shall be required prior to issuance of a precise grading permit. The amount of the non-
10 refundable security shall be equal to 10 years of maintenance costs, as identified by the
11 O&M Plan, but not to exceed a total of \$25,000. The owner/developer's civil engineer
12 shall prepare the O&M cost estimate.
- 13 114. The BMPs described in the project's approved SWQMP shall not be altered in any way,
14 unless reviewed and approved by the City Engineer. The determination of whatever
15 action is required for changes to a project's approved SWQMP shall be made by the City
16 Engineer.
- 17 115. Prior to receiving a temporary or permanent occupancy permit, the project shall
18 demonstrate that all structural BMPs, including Storm Water Pollutant Control BMPs
19 and Hydromodification Management BMPs, are constructed and fully operational, are
20 consistent with the approved SWQMP and the approved Precise Grading Plan, and are
21 in accordance with San Diego RWQCB Order No. R9-2013-0001 §E.3.e. (1)(d).
- 22 116. Open space areas, down-sloped areas visible from a collector-level or above roadway
23 classification, and improvements within the common areas that are not maintained by
24 the property owner, shall be maintained by a homeowners' association that will ensure
25 operation and maintenance of these items in perpetuity. These areas shall be indicated on
26 the parcel map and reserved for an association. Future buyers shall be made aware of
27 any estimated monthly maintenance costs. The CC&R's shall be submitted and approved
28 by the City prior to the recordation of the parcel map.

- 1 117. All new extension services for the development of the project, including but not limited
2 to, electrical, cable and telephone, shall be placed underground as required by the City
3 Engineer and current City policies.
- 4 118. Prior to the approval of plans and the issuance of a grading permit, owner/developer
5 shall obtain all necessary permits and clearances from public agencies having
6 jurisdiction over the project due to its type, size, location, or infrastructure impact. The
7 list of public agencies includes, but is not limited to, Public Utility Companies, the
8 California Department of Transportation (Caltrans), the City of Carlsbad, the City of
9 Vista, Fallbrook, the County of San Diego, the U. S. Army Corps of Engineers, the
10 California Department of Fish & Game, the U. S. Fish and Wildlife Service, the San
11 Diego Regional Water Quality Control Board, and the San Diego County Health
12 Department.
- 13 119. Owner/developer shall comply with all the provisions of the City's cable television
14 ordinances, including those relating to notification as required by the City Engineer.
- 15 120. As part of the City's Opportunistic Beach Fill Permit, this project has been conditioned
16 to test proposed excavated material to determine suitability for deposit on city beaches
17 as part of the Beach Sand Replenishment program. Preliminary soil test results shall be
18 provided as part of the project geotechnical report which is required prior to approval of
19 the grading plan and issuance of the grading permit.
- 20 Suitable beach replenishment material shall be at least 75% sand with no more than a
21 10% difference in sand content between material at the source and discharge site.
22 Replenishment material shall contain only clean construction materials suitable for use
23 in the oceanic environment; no debris, silt, soil, sawdust, rubbish, cement or concrete
24 washings, oil or petroleum products, hazardous/toxic/radioactive/munitions from
25 construction or dredging or disposal shall be allowed to enter into or be placed where it
26 may be washed by rainfall or runoff into waters of the United States. Any and all excess
27 or unacceptable material shall be completely removed from the site/work area and
28 disposed of in an appropriate upland site.

1 If the sediment to be exported is determined to be suitable beach replenishment material
2 and is approved by the regulatory agencies, the developer's contractor will coordinate
3 with the City's Coastal Zone Administrator for further discussion and direction on
4 placement.

5 **Coordination is required to occur a minimum of eight weeks in advance** of the need
6 to place approved excavated material on the beach.

7 121. If shoring is required for the construction of the proposed development, the shoring
8 design plans shall be included within the grading plan set, and the structural design
9 calculations shall be submitted with the grading plan application.

10 122. Approval of this development project is conditioned upon payment of all applicable
11 impact fees and connection fees in the manner provided in chapter 32B of the Oceanside
12 City Code. All traffic signal fees and contributions, highway thoroughfare fees, park
13 fees, reimbursements, drainage impact fees, and other applicable charges, fees and
14 deposits shall be paid prior to the issuance of any building permits, in accordance with
15 City Ordinances and policies. The owner/developer shall also be required to join into,
16 contribute, or participate in any improvement, lighting, or other special district affecting
17 or affected by this project.

18 123. Upon acceptance of any fee waiver or reduction by the owner/developer, the entire
19 project will be subject to prevailing wage requirements as specified by Labor Code
20 section 1720(b) (4). The owner/developer shall agree to execute a form acknowledging
21 the prevailing wage requirements prior to the granting of any fee reductions or waivers.

22 124. In the event that there are discrepancies in information between the conceptual plan and
23 the conditions set forth in the project's entitlement resolution (Conditions of Approval),
24 the project's entitlement resolution shall prevail.

25 **Fire:**

26 125. A COPY OF THESE CONDITIONS SHALL BE AVAILABLE ON PAPER AT THE
27 SITE AT THE TIME OF INSPECTION(S) ALONG WITH THE APPROVED PLANS.
28

1 126. In addition to the requirements of California Code of Regulations, Title 24, this building
2 is classified as a Mid-rise per City of Oceanside Municipal Code and will comply with
3 Sec. 11.19.

4 Sec. 11.19 requirements have been listed below for your reference.

5 127. Automatic fire sprinklers/standpipes:

6 a. Every mid-rise building must be protected throughout by an automatic fire sprinkler
7 system that is designed and installed in conformance with the adopted edition of
8 NFPA 13 and in accordance with the following:

9 1. Shutoff valves and a water-flow alarm device must be provided for each floor.
10 Each shutoff valve and flow device must be electronically supervised.

11 2. Every mid-rise building must be provided with a class I standpipe system that is
12 interconnected with the fire sprinkler system. The system must consist of two and
13 one-half-inch (2½") hose valves that must be located in each stair enclosure on every
14 floor level. Two (2) hose outlets must also be located on the roof, outside of each
15 stair shaft enclosure that penetrates the roof. The standpipe system must be designed,
16 installed, and tested in accordance with the adopted edition of NFPA 14.

17 128. Smoke Detection:

18 a. Smoke detectors must be provided in accordance with this section. Smoke detectors
19 must be connected to an automatic fire alarm system installed in accordance with the
20 adopted edition of NFPA 72. The actuation of any detector required by this section
21 will operate the emergency voice alarm signaling system and will place into
22 operation all equipment necessary to prevent the circulation of smoke through air
23 return and exhaust ductwork. Smoke detectors must be located as follows:

24 1. In every mechanical equipment, electrical, transformer, telephone equipment,
25 unmanned computer equipment, elevator machinery or similar room and in all
26 elevator lobbies. Elevator lobby detectors must be connected to an alarm verification
27 zone or be listed as a releasing device.
28

1 2. In the main return-air and exhaust-air plenum of each air-conditioning system
2 having a capacity greater than 2,000 cubic feet per minute. Such devices must be
3 located in a serviceable area downstream of the last duct inlet.

4 3. At each connection to a vertical duct or riser serving two (2) or more stories from a
5 return-air duct or plenum of an air conditioning system. In Group R-1 and R-2
6 occupancies, a smoke detector is allowed to be used in each return-air riser carrying
7 not more than five thousand (5,000) cubic feet per minute and serving not more than
8 ten (10) air inlet openings.

9 4. In all corridors serving as a means of egress.

10 129. Fire Alarm System:

11 a. An approved and listed, automatic and manual, fully addressable and electronically
12 supervised fire alarm system must be provided in conformance with the California
13 Fire Code and California Building Code.

14 130. Emergency voice alarm communication system:

15 a. An emergency voice alarm communication system shall be designed and installed in
16 accordance with NFPA 72 and California Building Code 907.5.2.2, and its
17 subsections, and 11B-215.

18 131. Locking of stairway doors:

19 a. All stairway doors that are locked to prohibit access from the interior of the stairway
20 must have the capability of being unlocked simultaneously, without unlatching, upon
21 a signal from the main fire panel area. Upon failure of normal electrical service, or
22 activation of any fire alarm, the locking mechanism must automatically retract to the
23 unlocked position. (Ord. No. 08-OR0369-1, § 5, 6-11-08; Ord. No. 13-OR0752-1, §
24 2, 12-4-2013; Ord. No. 16-OR0848-1, § 3, 12-21-2016)

25 132. Fire Department Connection (FDC) shall be located within forty feet of a fire hydrant,
26 and no closer than forty feet from the buildings they supply. It shall also be located on
27 the same side of the access road or driveway as the building it serves and marked with
28 the address and /or area supplied by the FDC.

1 133. Deferred Submittals:

- 2 a. Automatic Fire Sprinkler System with Standpipe system
- 3 b. Manual and Automatic Fire Alarm System with Emergency Voice Evacuation
- 4 System
- 5 c. Under Ground Water Supply for Fire Protection
- 6 d. GIS-referenced pre-plan
- 7 e. Emergency Responder Radio Coverage System

8 134. Final Approval is subject to Required Field Inspection(s)

9 135. Any approvals made are based upon submitted plans. Final approval is subject to
10 required field inspection(s) and acceptance test(s), with acceptable results, as required.
11 Additional requirements may be issued at the time of the field inspection(s) if there is
12 any deviation from the approved plans or in the event that issues not addressed in the
13 plan approval process are discovered in the field.

14 **Geotechnical:**

15 136. The geotechnical engineer shall review all civil plans (grading plans), foundation plans,
16 and proposed structural loads prior to construction to verify the assumptions of the
17 geotechnical report are valid and that the preliminary conclusions and recommendations
18 contained in the report have been properly interpreted and are incorporated into the
19 project plans and specifications.

20 **Housing:**

21 137. The Project shall require recordation of the affordable housing agreement prior to the
22 approval of any final or parcel map or building permit for the residential project to
23 ensure the provision of housing in compliance with OCC Chapter 14C and any
24 replacement housing obligations under State law.

25 **Landscaping:**

26 138. Landscape plans, shall meet the criteria of the City of Oceanside Landscape Guidelines
27 and Specifications for Landscape Development (latest revision), Water Conservation
28 Ordinance No.(s) 91-15 and 10-Ordinance 0412, Engineering criteria, City code and
ordinances, including the maintenance of such landscaping shall be submitted, reviewed

1 and approved by the City Engineer prior to the issuance of building permits.
2 Landscaping shall not be installed until bonds have been posted, fees paid, and plans
3 signed for final approval. In addition, a refundable cash deposit for the preparation of the
4 final As-built/ Maintenance Guarantee shall be secured with the City prior to the final
5 approval of the landscape construction plan. A landscape pre-construction meeting shall
6 be conducted by the landscape architect of record, Public Works Inspector, developer or
7 owner's representative and landscape contractor prior to commencement of the
8 landscape and irrigation installation. The following landscaping items shall be required
9 prior to plan approval and certificate of occupancy:

- 10 a. Final landscape plans shall accurately show placement of all plant material such as
11 but not limited to trees, shrubs, and groundcovers.
- 12 b. Landscape Architect shall be aware of all utility, sewer, water, gas and storm drain
13 lines and utility easements and place planting locations accordingly to meet City of
14 Oceanside requirements.
- 15 c. Final landscape plans shall be prepared under the direct supervision of a Registered
16 Landscape Architect (State of California), with all drawings bearing their
17 professional stamp and signature.
- 18 d. All required landscape areas both public and private (including trees and palms in the
19 public rights-of-way) shall be maintained by owner, project association or successor
20 of the project (including public rights-of-way along Pier View Way and N.
21 Clementine Street). The landscape areas shall be maintained per City of Oceanside
22 requirements.
- 23 e. The As-built/ Maintenance Guarantee (refundable cash deposit) shall not be released
24 until the as-built drawings have been approved on the original approved Mylar
25 landscape plan and the required maintenance period has been successfully
26 terminated.
- 27 f. Proposed landscape species shall fit the site and meet climate changes indicative to
28 their planting location. The selection of plant material shall also be based on

1 cultural, aesthetic, and maintenance considerations. In addition, proposed landscape
2 species shall be low water users as well as meet all fire department requirements.

- 3 g. All planting areas shall be prepared and implemented to the required depth with
4 appropriate soil amendments, fertilizers, and appropriate supplements based upon a
5 soils report from an agricultural suitability soil sample taken from the site.
- 6 h. Ground covers or bark mulch shall fill in between the shrubs to shield the soil from
7 the sun, evapotranspiration and run-off. All the flower and shrub beds shall be
8 mulched to a 3" depth to help conserve water, lower the soil temperature and reduce
9 weed growth.
- 10 i. The shrubs shall be allowed to grow in their natural forms. All landscape
11 improvements shall follow the City of Oceanside Guidelines.
- 12 j. Root barriers shall be installed adjacent to all paving surfaces where a paving surface
13 is located within 6 feet of a tree trunk on site (private) and within 10 feet of a tree
14 trunk in the right-of-way (public). Root barriers shall extend 5 feet in each direction
15 from the centerline of the trunk, for a total distance of 10 feet. Root barriers shall be
16 24 inches in depth. Installing a root barrier around the tree's root ball is
17 unacceptable.
- 18 k. All fences, gates, walls, stone walls, retaining walls, and plantable walls shall obtain
19 Planning Division approval for these items in the conditions or application stage
20 prior to 1st submittal of working drawings.
- 21 l. For the planting and placement of trees and their distances from hardscape and other
22 utilities/ structures the landscape plans shall follow the City of Oceanside's (current)
23 Tree Planting Distances and Spacing Standards.
- 24 m. An automatic irrigation system shall be installed to provide coverage for all planting
25 areas shown on the plan. Low volume equipment shall provide sufficient water for
26 plant growth with a minimum water loss due to water run-off.
- 27 n. Irrigation systems shall use high quality, automatic control valves, controllers and
28 other necessary irrigation equipment. All components shall be of non-corrosive

1 material. All drip systems shall be adequately filtered and regulated per the
2 manufacturer's recommended design parameters.

- 3 o. All irrigation improvements shall follow the City of Oceanside Guidelines and Water
4 Conservation Ordinance.
- 5 p. The landscape plans shall match all plans affiliated with the project.
- 6 q. Landscape construction drawings are required to implement approved Fire
7 Department regulations, codes, and standards at the time of plan approval.
- 8 r. Landscape plans shall comply with Biological and/or Geotechnical reports, as
9 required, shall match the grading and improvement plans, comply with Storm Water
10 Management Plan (SWMP), Hydromodification Plan, or Best Management Practices
11 and meet the satisfaction of the City Engineer.
- 12 s. Existing landscaping on and adjacent to the site shall be protected in place and
13 supplemented or replaced to meet the satisfaction of the City Engineer.
- 14 t. All pedestrian paving (both decorative and standard) shall comply with the most
15 current edition of the American Disability Act.

16 139. All landscaping, fences, walls, etc. on the site, in medians within the public right-of-way
17 and within any adjoining public parkways shall be permanently maintained by the
18 owner, his assigns or any successors-in-interest in the property. The maintenance
19 program shall include: a) normal care and irrigation of the landscaping b) repair and
20 replacement of plant materials (including interior trees and street trees) c) irrigation
21 systems as necessary d) general cleanup of the landscaped and open areas e)
22 maintenance of parking lots, walkways, enhanced hardscape, trash enclosures, walls,
23 fences, etc. f) pruning standards for street trees shall comply with the International
24 Society of Arboriculture (ISA) Standard Practices for Tree Care Operations – ANSI
25 A300, Appendix G: Safety Standards, ANSI Z133; Appendix H; and Tree Pruning
26 Guidelines, Appendix F (most current edition). Failure to maintain landscaping shall
27 result in the City taking all appropriate enforcement actions including but not limited to
28 citations. This maintenance program condition shall be recorded with a covenant as
required by this resolution.

1 140. In the event that the conceptual landscape plan (CLP) does not match the conditions of
2 approval, the resolution of approval shall govern.

3 **Transportation:**

4 141. Project shall install one (1) ADA ramp on the south-east corner of the intersection North
5 Clementine and Pier View Way. This improvement shall be completed prior to the
6 issuance of occupancy and to the satisfaction of the City Traffic Engineer.

7 142. Project driveway widths shall be as follows:

8 a) Driveway to be located closest to the intersection of North Clementine Street and
9 Public Alley shall be 20 feet wide. This improvement shall be completed prior to
10 the issuance of occupancy and to the satisfaction of the City Traffic Engineer.

11 b) Driveway to be located furthest away from North Clementine Street and Public
12 Alley shall be 24 feet wide. This improvement shall be completed prior to the
13 issuance of occupancy and to the satisfaction of the City Traffic Engineer.

14 143. Project shall close the existing curb cut on Pier View Way and replace with curb and
15 gutter per City's standards. The curb shall match with the existing conditions. This
16 improvement shall be completed prior to the issuance of occupancy and to the
17 satisfaction of the City Traffic Engineer.

18 **Water Utilities:**

19 144. The developer will be responsible for developing all water and sewer utilities necessary
20 to develop the property. Any relocation of water and/or sewer utilities is the
21 responsibility of the developer and shall be done by an approved licensed contractor at
22 the developer's expense.

23 145. All Water and Wastewater construction shall conform to the most recent edition of the
24 Water, Sewer, and Recycled Water Design and Construction Manual or as approved by
25 the Water Utilities Director.

26 146. The property owner shall maintain private water and wastewater utilities located on
27 private property.

28 147. Water services and sewer laterals constructed in existing right-of-way locations are to be
constructed by an approved and licensed contractor at developer's expense.

- 1 148. Minimum separation between water services and sewer laterals shall be 10 feet.
- 2 149. Water facilities, backflows or meters, shall have a minimum 10' separation from trees.
- 3 Palm tree minimum separation is lowered to 5' from water facilities.
- 4 150. Each new residential dwelling unit, and commercial suite shall be metered individually.
- 5 151. For new buildings with multiple residential dwelling units; the City has accepted, as an
- 6 alternative, a public master meter for each building provided there is a private sub-meter
- 7 for each individual dwelling unit. The Home Owner's Association or Building Owner
- 8 would be responsible for the ownership, maintenance, reading, and replacement of the
- 9 private sub-meters. There shall be a shared agreement for the shared water supply line
- 10 and private water and sewer facilities among the owners. This should be addressed in the
- 11 CC&Rs or maintenance agreement.
- 12 152. Provide a separate commercial water meter for the proposed commercial space. If the
- 13 space will be divided into multiple commercial suites, then a commercial master meter
- 14 may be utilized. The commercial master meter shall be billed based on the predominant
- 15 (highest) sewage strength classification within the building. The use of a commercial
- 16 master meter is based on the units having a low strength non-residential sewer
- 17 classification. If this classification were to change, then separate public water meters and
- 18 service connections, and sewer connections may be required for each commercial unit.
- 19 The Homeowner's Association or Building Owner would be responsible for the
- 20 ownership, maintenance, reading, and replacement of the private sub-meters. There shall
- 21 be a shared agreement for the shared water supply line and private water and sewer
- 22 facilities among the tenants.
- 23 153. Provide a separate irrigation water meter. Meter shall be managed and paid for by the
- 24 Homeowner's Association or Building Owner. An address assignment will need to be
- 25 completed for the meter, and can be processed through the City Planning Department.
- 26 154. Per the latest approved California Fire Code, all new residential units shall be equipped
- 27 with fire sprinkler system.
- 28 155. Buildings requiring an NFPA 13 or NFPA 13R automatic sprinkler system for fire
- protection shall have a dedicated fire service connection to a public water main with a

1 double check detector backflow assembly. Location of the backflow assembly must be
2 approved by Fire Department.

3 156. Hot tap connections will not be allowed for size on size connections, and connections
4 that are one (1) pipe size smaller than the water main. These connections shall be a cut-
5 in tees with three valves for each end of the tee. Provide a connection detail on the
6 improvement plans for all cut-in tee connections.

7 **The following conditions shall be met prior to the approval of engineering design plans.**

8 157. Any water and/or sewer improvements required to develop the proposed property will
9 need to be included in the improvement plans and designed in accordance with the
10 *Water, Sewer, and Recycled Water Design and Construction Manual*.

11 158. All public water and/or sewer facilities not located within the public right-of-way shall
12 be provided with easements sized according to the *Water, Sewer, and Recycled Water*
13 *Design and Construction Manual*. Easements shall be constructed for all weather
14 access.

15 159. No trees, structures or building overhang shall be located within any water or
16 wastewater utility easement.

17 160. The City is currently planning to install a future 8" recycled water main located in Pier
18 View Way. If recycled water becomes available, this property shall be required to
19 convert its irrigation supply to recycled water. The irrigation system shall be designed in
20 anticipation of a future recycled water service and meter along Pier View Way. The
21 system design shall meet the recycled water requirements of the City's *Water, Sewer,*
22 *and Recycled Water Design and Construction Manual*.

23 161. Developer shall prepare and submit recycled water irrigation plans to the Water Utilities
24 Department for an independent review and pay a separate recycled water review fee. The
25 review shall include the processing, plan submittal, permitting, inspection, and testing of
26 the proposed irrigation system for approval by the State Water Resources Control Board
27 / San Diego County Department of Environmental Health and Quality for on-site
28 recycled water use. If Development is responsible for the irrigation or maintenance of
any landscaping in the right-of-way, then a separate/dedicated recycled irrigation meter

1 and service shall be required for this irrigation system. Local regulations do not permit a
2 single irrigation meter to service landscaping areas across property lines.

3 162. If at the time the Project's improvement plans are submitted, and the future recycled
4 water main does not look like a viable possibility, then per City of Oceanside Ordinance
5 No. 14-OR0565-1, the developer shall pay a recycled water impact fee since the
6 proposed project is not within 75 feet of a recycled water main. The impact fee shall be
7 established by submitting a formal letter requesting the City to determine this fee, which
8 is based on 75% of the design and construction cost to construct a recycled water line
9 fronting the property in Pier View Way.

10 163. A water study and sewer study must be prepared by the developer at the developer's
11 expense and approved by the Water Utilities Department. The studies shall determine if
12 the existing City water and sewer infrastructure is capable of providing adequate water
13 pressure and flow, and sewer capacity for the development. Sewer mains downstream of
14 the proposed development may be required to perform sewer flow monitoring by an
15 approved list of flow monitoring companies by the City for at least a one-week period to
16 confirm its existing capacity. Off-site improvements may be required as a result of the
17 studies and flow monitoring.

18 164. The developer may elect to have the City's hydraulic modeling Consultant utilize the
19 City's Wastewater Model to determine if there is adequate sewer capacity and if any off-
20 site improvements are required. The Consultant will determine the project flows, update
21 the model, analyze the sewer collection system, and prepare a technical memorandum
22 with the findings for a fee that is detailed in the Water Utilities Development Fee Table.

23 165. An Oil and Sand Interceptor, as described by the latest adopted California Plumbing
24 Code Chapter 10, relating to garages, gasoline stations, wash racks or when deemed
25 necessary shall be shown on building plans at each building sewer in an appropriate
26 location and shall be maintained in accordance with the Fats, Oil, and Grease permit.
27 The location shall be shown on the approved Engineering Plans with reference to
28 Building Plans for design and detail.

- 1 166. A Grease Interceptor, as required per City of Oceanside Ordinance 07-OR0021-1 & 18-
2 OR0021-1 relating to food service establishments shall be on each building sewer when
3 deemed necessary in an appropriate outside location and shall be maintained by the
4 property owner. The grease interceptor shall be shown on Engineering Plans with
5 reference to Building Plans for design and detail.
- 6 167. Connections to a public sewer main with a 6-inch or larger sewer lateral will require a
7 new sewer manhole for connection to main per Section 3.3 of *Water, Sewer, and*
8 *Recycled Water Design and Construction Manual*.
- 9 168. Connection to an existing sewer manhole will require rehabilitation of the manhole per
10 City standards. Rehabilitation may include, but not be limited to, re-channeling of the
11 manhole base, surface preparation and coating the interior of the manhole, and replacing
12 the manhole cone with a 36" opening and double ring manhole frame and lid.
- 13 169. The commercial space will require a separate sewer lateral from the residential units.
14 Sewage from all units (commercial, residential) may combine on site before entering the
15 public sewer system, but the commercial space sewage shall be capable of being isolated
16 and sampled on site.
- 17 170. Where private sewer system is shared with other tenants, a Homeowner's Association or
18 Property Management Company and CC&Rs should address the maintenance, repair,
19 and replacement of "shared" sewer lateral or facilities.
- 20 171. A separate irrigation meter with an approved backflow prevention device is required to
21 serve common landscaped areas and shall be displayed on the plans.
- 22 172. Provide peak irrigation flows per zone or control valve to verify size of irrigation meter
23 and reduced pressure principle backflow device on Landscape Plans.
- 24 173. Provide stationing and offsets for existing and proposed water service connections and
25 sewer laterals on plans.
- 26 174. Subterranean parking structures shall be designed with a drainage system that conveys
27 runoff to the City's Storm Drain System and shall comply with the California Regional
28 Water Quality Control Board Order No. 2013-0001.

1 175. Any unused water services or sewer laterals by the proposed development, shall be
2 abandoned in accordance with Water Utilities requirements. If an existing water meter is
3 abandoned then a credit will be applied towards future buy-in fees in the amount of the
4 buy-in fee of the existing meter.

5 **The following conditions of approval shall be met prior to building permit issuance.**

6 176. Show location and size of existing and proposed water meter(s) on site plan of building
7 plans. Show waterline from proposed meter to connection point to building.

8 177. Show location and size of existing and proposed sewer lateral(s) from property line or
9 connection to sewer main to connection point at building.

10 178. Provide a fixture unit count table and supply demand estimate per the latest adopted
11 California Plumbing Code (Appendix A) to size the water meter(s), including sub-
12 meters, and service line(s).

13 179. Provide drainage fixture unit count per the latest adopted California Plumbing Code to
14 size sewer lateral for property.

15 180. If a Grease Interceptor is required per City of Oceanside Ordinance 07-OR0021-1, then
16 building plans must show sizing calculations per the latest California Plumbing Code,
17 the location, the make and model, and plumbing schematic showing the required
18 appurtenances at each building sewer lateral.

19 181. If a Sand and Oil Separator is required, then building plans must show drainage fixture
20 unit count and calculations per the latest California Plumbing Code to size oil and sand
21 separator and show on plans the location, make and model of separator, inlet/outlet
22 piping, and a plumbing schematic of the separator along with the required appurtenances
23 at each building sewer lateral.

24 182. Water and Wastewater buy-in fees and the San Diego County Water Authority Fees are
25 to be paid to the City at the time of Building Permit issuance per City Code Section
26 32B.7.

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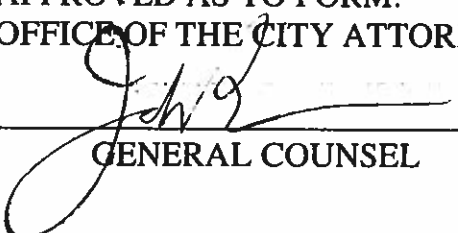
PASSED AND ADOPTED by the Community Development Commission of the City of
Oceanside, California, this 17th day of May, 2023 by the following vote:

AYES:
NAYS:
ABSENT:
ABSTAIN:

ATTEST:

SECRETARY

CHAIRPERSON _____

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY


GENERAL COUNSEL

PIER VIEW MIXED-USE



A MIXED USE RE-DEVELOPMENT PROJECT LOCATED AT 901 PIER VIEW WAY - OCEANSIDE - CALIFORNIA
 COMPRISED OF 64 RESIDENTIAL UNITS AND STREET LEVEL COMMERCIAL SPACE

RD22-00002
 RP22-00001
 DB22-00007



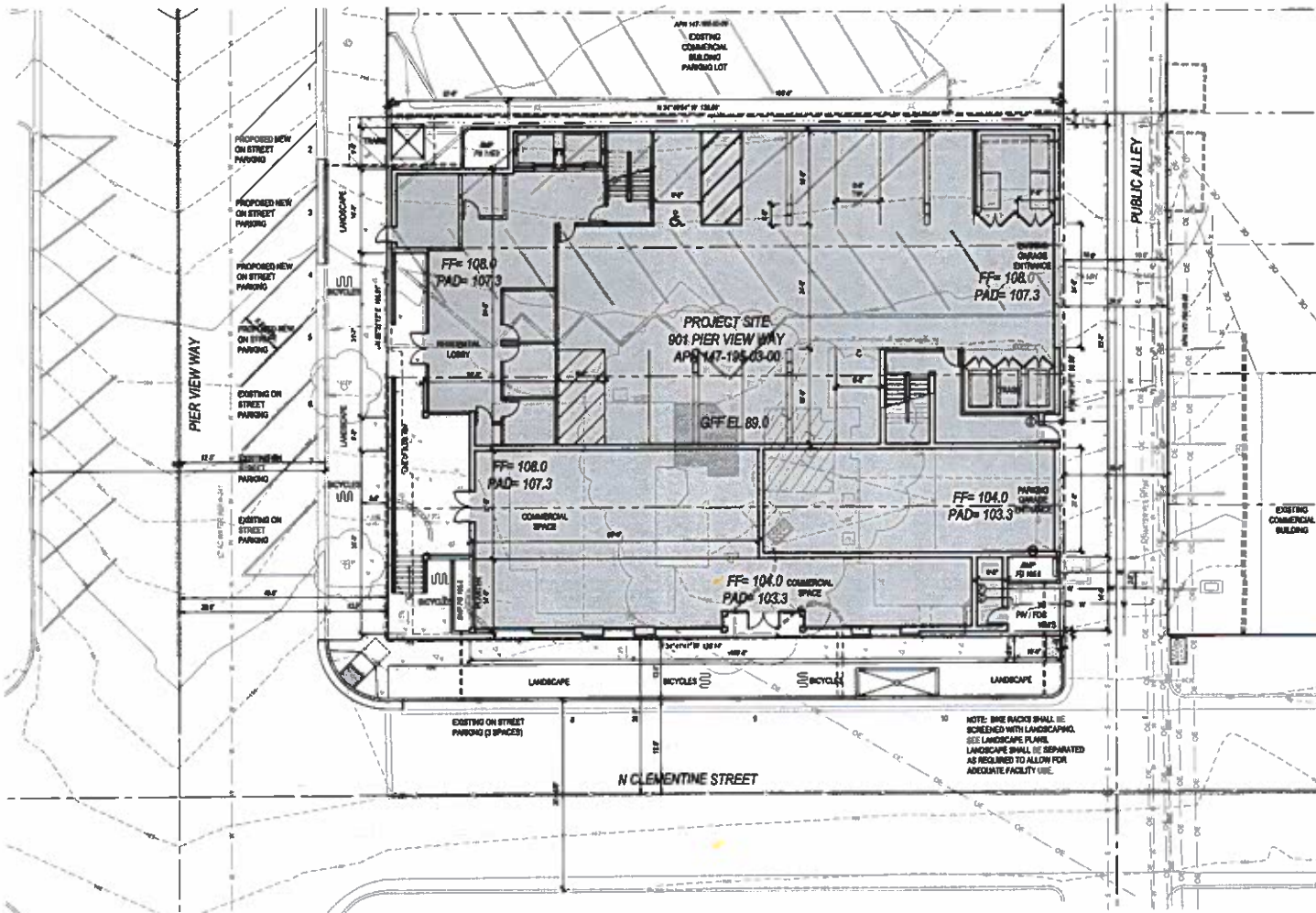
ALL STATE LICENSED ARCHITECTS AND ENGINEERS MUST REVIEW AND SEAL ALL DRAWINGS OF THIS PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWINGS MADE BY ANY OTHER PARTY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWINGS MADE BY ANY OTHER PARTY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE ORIGINAL DRAWINGS MADE BY ANY OTHER PARTY.

PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA

DATE	04-02
PROJECT	901 PIER VIEW
FILE	01
NUMBER	
PLANNING CONSULTING & DESIGN	04-02
PIER VIEW COMMUNITY	04-02
PIER VIEW MIXED USE	04-02

Sheet No:
COVER SHEET

Sheet No:
A0.1



SITE PLAN



PROJECT TEAM	
OWNER: FIELDS ARCHITECTURE 1940 W. 222nd ST LOS ANGELES, CA 90048	CONTRACTOR: PIERCE PARTNER & ASSOC. CONTACT: TERRY LAWSON 224 W. HENNING ST. STE. 408 OCEANSIDE, CA 92054 T: 760-434-8200 t.lawson@pierpart.com
ARCHITECT: FINE COLLIER ARCHITECTS, INC. CONTACT: KYLE COLLIER 2200 LINDSEY AVENUE, STE. 220 CHULAHUA, CA 95019 T: 925-484-8700 kcollier@finecollier.com	LANDSCAPE ARCHITECT: GARDNER GREEN GROUP CONTACT: JEFF BROWN 1775 FORTY-NINTH ST. STE. 408 CHULAHUA, CA 95019 T: 925-484-8700 jbrown@gardnergreengroup.com
LEGAL DESCRIPTION	
LOT 1 & 1.400 SQ. FT. OF 10.0 ACRES TO THE CITY OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NUMBER 10, FILED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY, CALIFORNIA, ON 08/11/2010.	
PROJECT SUMMARY	
ADDRESS: PARCEL NUMBER: 40 000-000	10 000-000
ADDRESS: 901 PIER VIEW WAY	901 PIER VIEW WAY
ADDRESS: OCEANSIDE, CA 92054	OCEANSIDE, CA 92054
LOCATION DESCRIPTION: 901 PIER VIEW WAY	901 PIER VIEW WAY
GROUND COVER: 12,300 SQ. FT. / 20 AC	12,300 SQ. FT. / 20 AC
NET AREA: 7,810	7,810
ZONE: DOWNTOWN D / SUBST. I	DOWNTOWN D / SUBST. I
COSTAL ZONE: NO	NO
GROSS FLOOR AREA: 6,000 SQ. FT.	6,000 SQ. FT.
PLANNING PERMIT NUMBER: 12345678	12345678
ISSUE DATE: 10/15/2023	10/15/2023
DATE: 10/15/2023	10/15/2023
LOT COVERAGE RATIO	
TOTAL GROSS AREA AND GARAGE AREA	11,800 S.F. / 12,300 S.F. = 95%
LANDSCAPE COVERAGE RATIO	
DEVELOPED LAND (EXCEPT FOR BUILDINGS)	75% BUILDINGS / 25% LANDSCAPE
STORAGE	
TYPE OF CONSTRUCTION	RECONSTRUCTION - TYPE III
FIRE PROTECTION	CONCRETE + STEEL IN TOWER
FIRE ALARM	AND TYPE III IN-BUILDING
SMOKE EXHAUST	YES
WIND RESISTANCE	AS TO TOP OF ROOF
WIND RESISTANCE	AS TO TOP OF BULK HEADINGS
FURNISHINGS REQUIRED	
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RD22-00002
RP22-00001
DB22-00007



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PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date:	10/15/23
Project:	901 PIER VIEW
Site:	41
Author:	
Planning Committee:	0-10-23
Plan Committee:	0-10-23
Plan Committee:	0-10-23

SITE PLAN

A1.1





VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING EAST. SUBJECT PROPERTY ON RIGHT



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING SOUTHEAST. SUBJECT PROPERTY ON LEFT



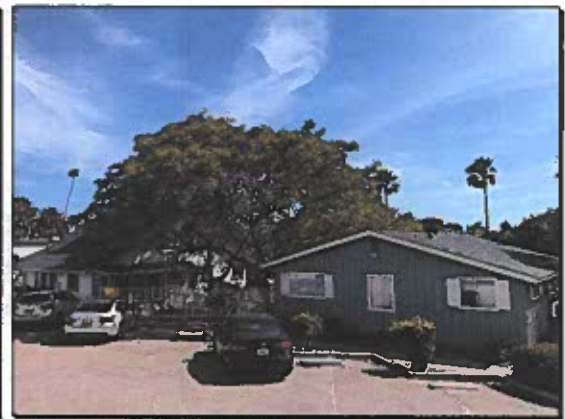
VIEW FROM CLEMENTINE ST LOOKING EAST UP ALLEY. SUBJECT PROPERTY ON LEFT



VIEW FROM CLEMENTINE ST LOOKING NORTH EAST AT SUBJECT PROPERTY



VIEW FROM CLEMENTINE ST LOOKING AT ADJACENT PROPERTY TO THE SOUTH



VIEW FROM PIER VIEW WY LOOKING SOUTH AT SUBJECT PROPERTY



VIEW FROM CLEMENTINE ST LOOKING NORTH FROM SOUTH END OF SUBJECT PROPERTY



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING WEST AT ADJACENT PROPERTY



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING WEST DOWN PIER VIEW WY

RD22-00002
RP22-00001
DB22-00007



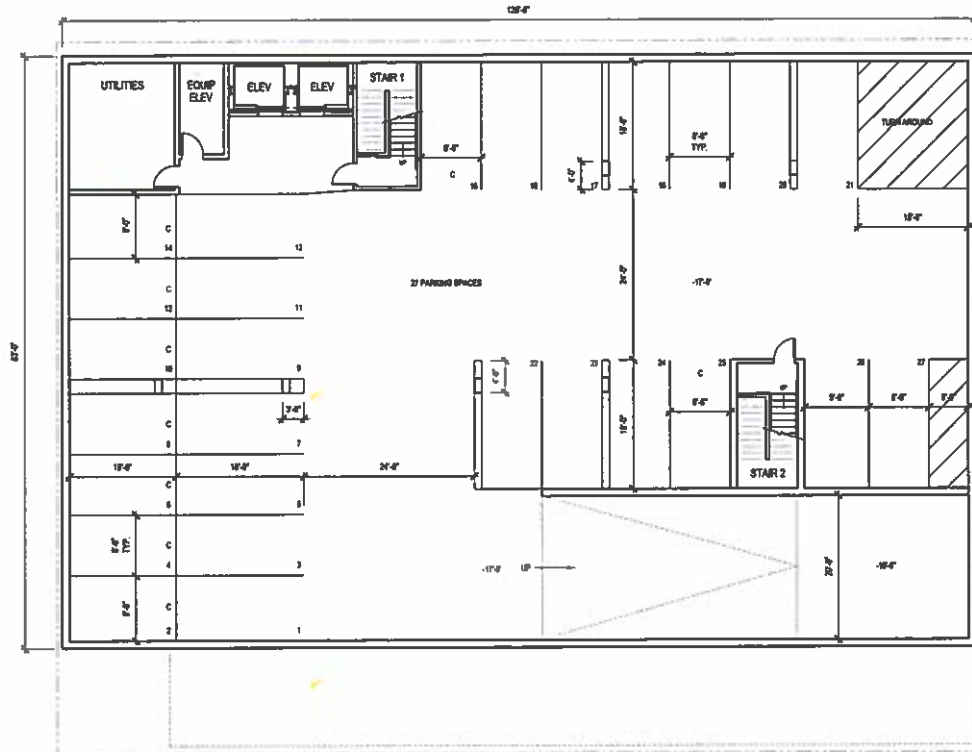
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PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date	6/20/22
Project	901 PIER VIEW
File	A1.2
Number	
PLAN COMBINED 1	5-14-22
PLAN COMBINED 2	15-14-22
PLAN COMBINED 3	20-22

SITE PHOTOS

A1.2



SUB LEVEL 2 PARKING PLAN



RO22-00002
 RP22-00001
 DB22-00007



ALL WORK, MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA

Date:	6-20-22
Drawn by:	DAVID VANCE
Rev:	01
Number:	
PLANNING COMMENTS 1	6-24-22
PLANNING COMMENTS 2	6-24-22
PLANNING COMMENTS 3	6-24-22

Sheet No:
**SUB LEVEL 2
 PARKING
 PLAN**

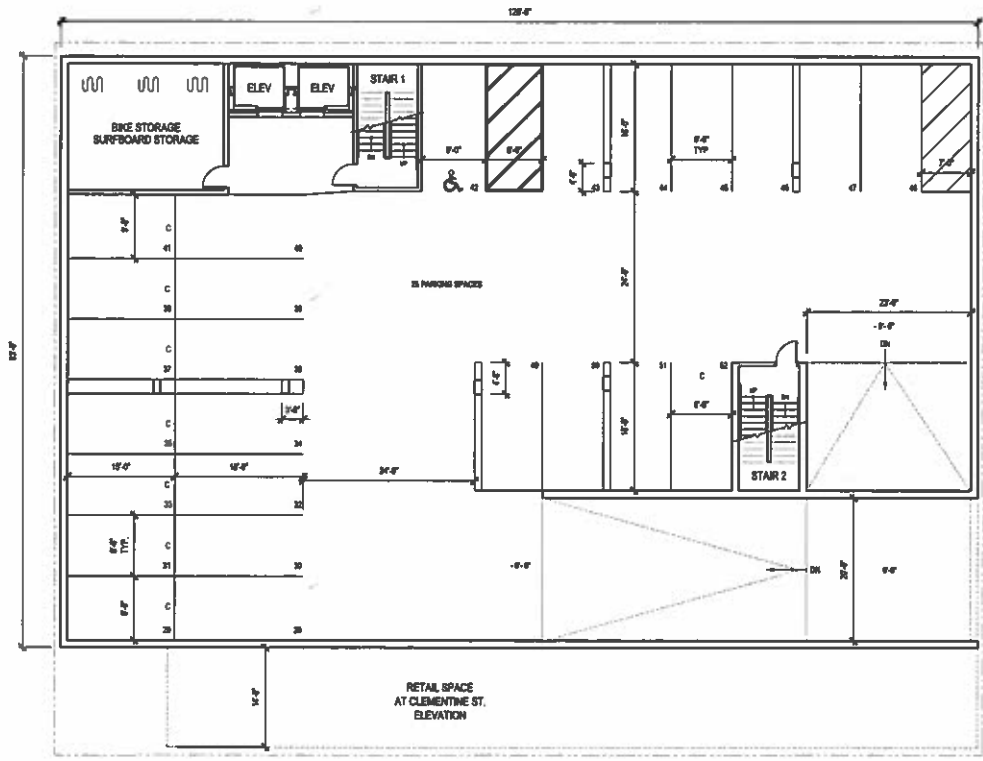
Sheet Name:
A2.1

RD22-00002
 RP22-00001
 D622-00007



KNA
 KNA CONSTRUCTION SERVICES, INC.
 6000 LONESOME AVE., SUITE 200
 OCEANSIDE, CA 92053
 (760) 431-1111

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SUB LEVEL 1 PARKING PLAN



PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date:	1/20/22
Project:	901 PIER VIEW
File:	272
Number:	
▲ PLAN COMMENTS 01-11-22	
▲ PLAN COMMENTS 01-14-22	
▲ PLAN COMMENTS 2-8-22	

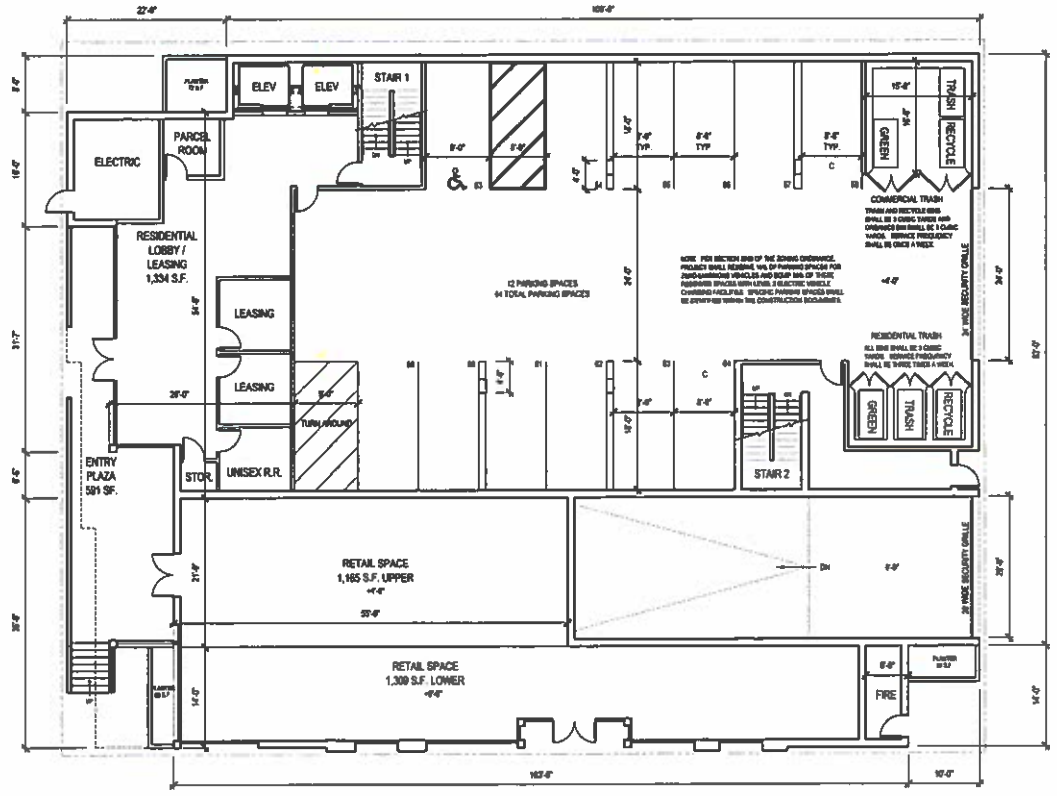
Sheet No:
**SUB LEVEL 1
 PARKING
 PLAN**

A2.2

RD22-00002
 RP22-00001
 DB22-00007



ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OCEANSIDE, CALIFORNIA, ORDINANCES AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OCEANSIDE, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS.



NOTE: FOR SECTION VIEW OF THE SCENE, THE CONTRACTOR SHALL MAINTAIN THE USE OF PARKING SPACES FOR PASSENGER VEHICLES AND BEAR IN MIND OF THESE DIMENSIONS SPACES WITHIN. ELECTRIC VEHICLE CHARGING FACILITIES SPACING PARKING SPACES SHALL BE DETERMINED WITHIN THE CONSTRUCTION DOCUMENTS.

COMMERCIAL TRASH
 TRASH AND RECYCLE BINS
 SHALL BE 4' HIGH WITH AN
 OPENING ON THE SIDE BY 1.0 METER
 WIDE. FIRE RESISTIVITY
 SHALL BE ONE HOUR.

RESIDENTIAL TRASH
 ALL BINS SHALL BE 4' HIGH
 WITH AN OPENING ON THE SIDE
 BY 1.0 METER WIDE. FIRE
 RESISTIVITY SHALL BE ONE HOUR.

FIRST FLOOR PLAN

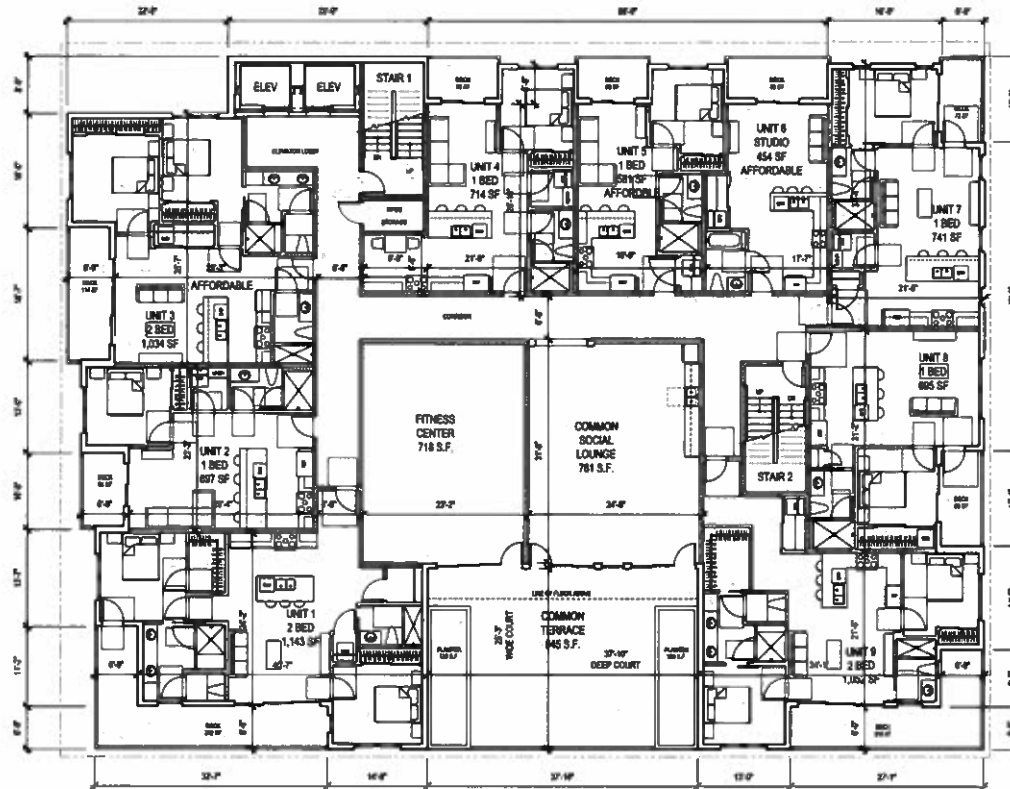


PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA

Date:	10/10/20
Project:	901 PIER VIEW
Sheet:	41.1
Revision:	
APPROVED COMMENTS 1	10/14/20
PLAN COMMENTS 1	10/14/20
PLAN COMMENTS 2	10/14/20

Sheet Title:
FIRST FLOOR PLAN

Sheet Number:
A2.3



SECOND FLOOR PLAN



RD22-00002
RP22-00001
DB22-00007



1000 W. HOLLAND AVENUE, SUITE 100
JULIA LINDER INC. ARCH. P.C. AND
INTERIORS, INC. AND ASSOCIATES
1000 W. HOLLAND AVENUE, SUITE 100
OCEANSIDE, CA 92054

ALL ROOMS, STAIRS AND
HALLWAYS SHOWN ARE
BASED ON THE MOST
RECENT RECORDS AND THE
PROPERTY OF THE ARCHITECT.
THE ARCHITECT HAS NOT
CONDUCTED A VISUAL
INSPECTION OF THE
EXISTING CONDITIONS.
THE ARCHITECT HAS NOT
CONDUCTED A VISUAL
INSPECTION OF THE
EXISTING CONDITIONS.
THE ARCHITECT HAS NOT
CONDUCTED A VISUAL
INSPECTION OF THE
EXISTING CONDITIONS.

PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date:	6-20-22
Project:	901 PIER VIEW
File:	2024
Revision:	
PLANNING COMMENTS 1	6-14-22
PLANNING COMMENTS 2	6-24-22
PLANNING COMMENTS 3	7-6-22

Sheet No:
SECOND FLOOR PLAN

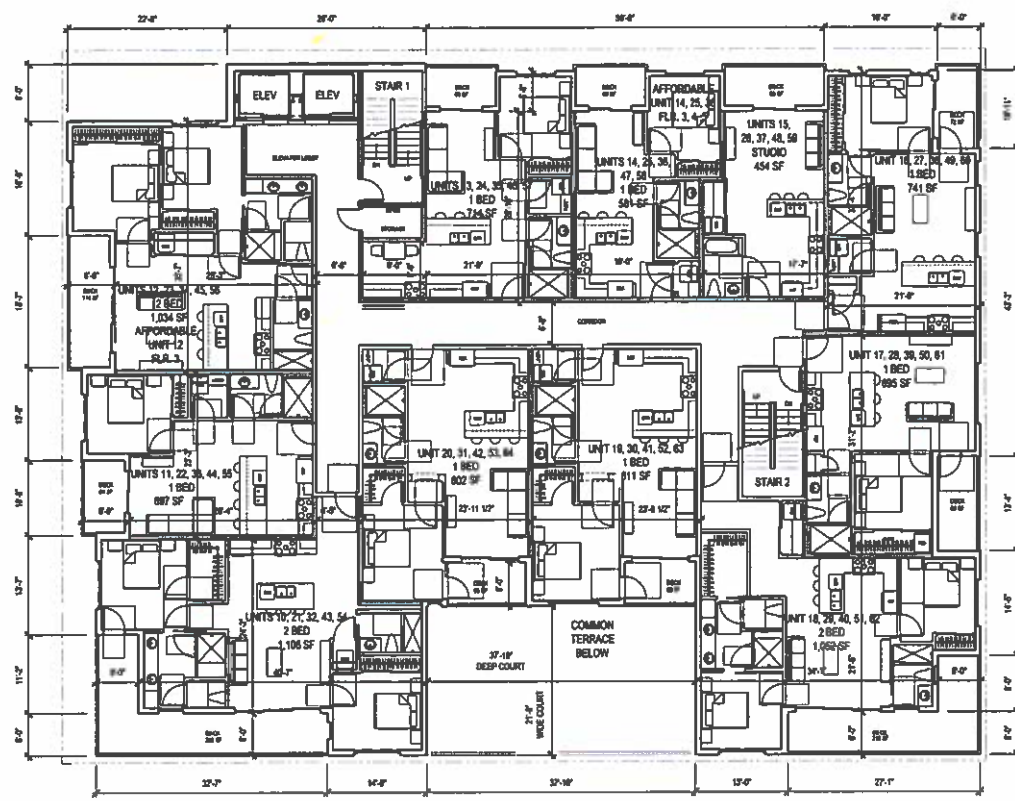
Sheet No:
A2.4

RD22-00002
 RP22-00001
 DB22-00007



WE INCLUDE A SIGNATURE FOR
 THE ARCHITECT AND SEAL THE
 DRAWING IN THE APPROPRIATE
 PLACE AND DATE.

A. J. KNA, ARCHITECT AND
 DESIGN PARTNERS GROUP
 10000 WILSON AVENUE, SUITE 100
 OAKLAND, CA 94612
 TEL: 415.764.1000
 FAX: 415.764.1001
 WWW.KNAARCHITECTS.COM



THIRD - SEVENTH FLOOR PLAN

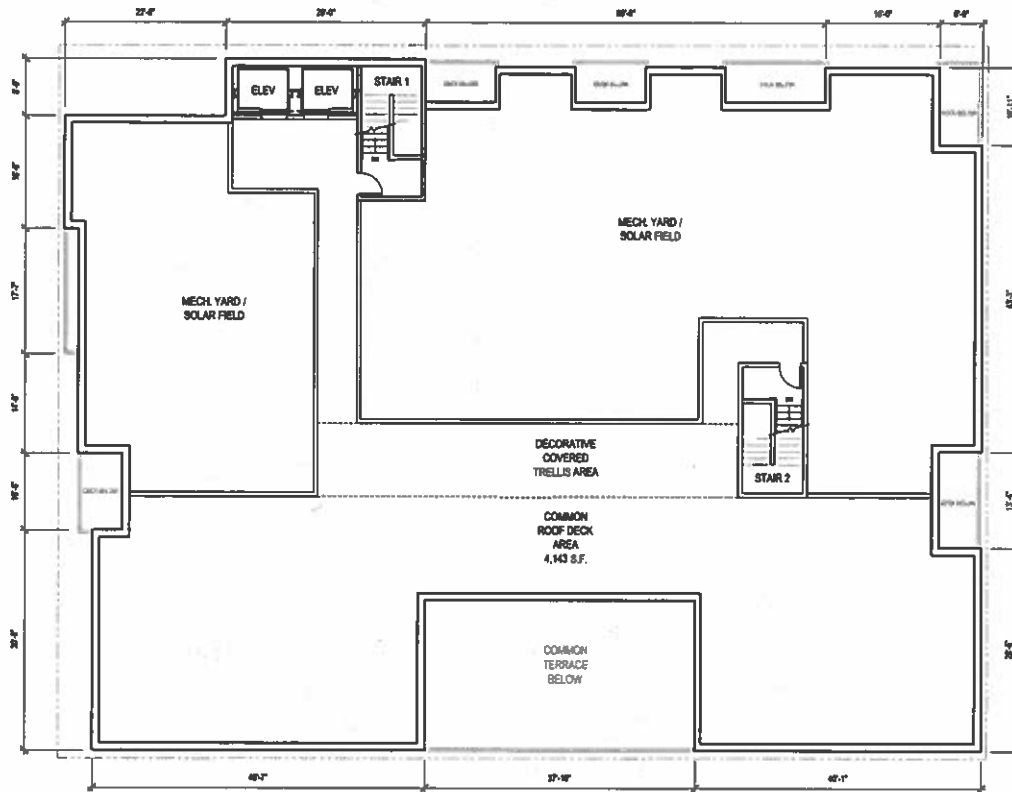


**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

Date:	04.22
Page:	04 PER 020
File:	A13
Revision:	
PLAN COMMENTS 1	14.12
PLAN COMMENTS 2	15.12
PLAN COMMENTS 3	14.22

THIRD - SEVENTH FLOOR PLAN

A2.5



ROOF PLAN



RD22-00002
 RP22-00001
 DB22-00007



ALL WORK, MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS OF THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

DATE	0-20-22
PROJECT	901 PIER VIEW
NO.	02
REVISIONS	
DESIGNED BY	0-10-22
CHECKED BY	0-14-22
DATE	0-14-22

Sheet No.
ROOF PLAN

A2.6

RD22-00002
 RP22-00001
 DB22-00007



KNA
 KNA FIBERGLASS REINFORCEMENT, INC.
 2000 WILSON AVENUE, SUITE 200
 OAKLAND, CA 94612
 415.764.2000
 www.kna.com

All sizes, textures and finishes are subject to change without notice. Colors are approximate and may vary. The manufacturer is not responsible for the appearance of the finished product. All materials are subject to change without notice. The manufacturer is not responsible for the appearance of the finished product. All materials are subject to change without notice. The manufacturer is not responsible for the appearance of the finished product.



WEST COLORED ELEVATION

MATERIALS LIST

- 1 STUCCO BRICK BODY FINISH - BRICK SAND FLIGHT COLOR SW 701 PEARLY WHITE
- 2 STUCCO ACCENT FINISH - BRICK SAND FLIGHT COLOR SW 701 PEARLY WHITE
- 3 BRICKWORK METAL ACCENTS - ASP BRN COLOR BRN BRN
- 4 BLENDED BRICK - EUROPLAN LEAD COLOR LEAD
- 5 CONCRETE BRICK BLOCK - ORZO SQUARE OR SQUARE NATURAL GRAY SW
- 6 METAL FINISH CAP - ASP BRN BRN BRN
- 7 CLEAR GLAZING IN BLACK FINISH - ACCORDEO 18 BRN BRN BRN OR 20 BRN BRN BRN TO MATCH
- 8 CLEAR COMMERCIAL GLAZING IN BLACK SPORTRIGHT FINISH
- 9 47 HIGH CLEAR GLAZING DIVISION SYSTEMS IN SILVER POSTS AND RAILS

A: Stucco Brick Body Finish (Pearly White)

B: Stucco Accent Finish (Pearly White)

C: Blended Brick (Europlan Lead)

D: Concrete Brick Block (Orzo Square)

E: Metal Finish Cap (Asp Brn)

F: Clear Commercial Glazing (Black Sportright)

G: Clear Glazing in Black Finish (Accordeo 18)

H: Clear Glazing in Black Finish (Accordeo 20)

I: High Clear Glazing Division System (Silver Posts and Rails)

J: High Clear Glazing Division System (Silver Posts and Rails)

MATERIALS BOARD

PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

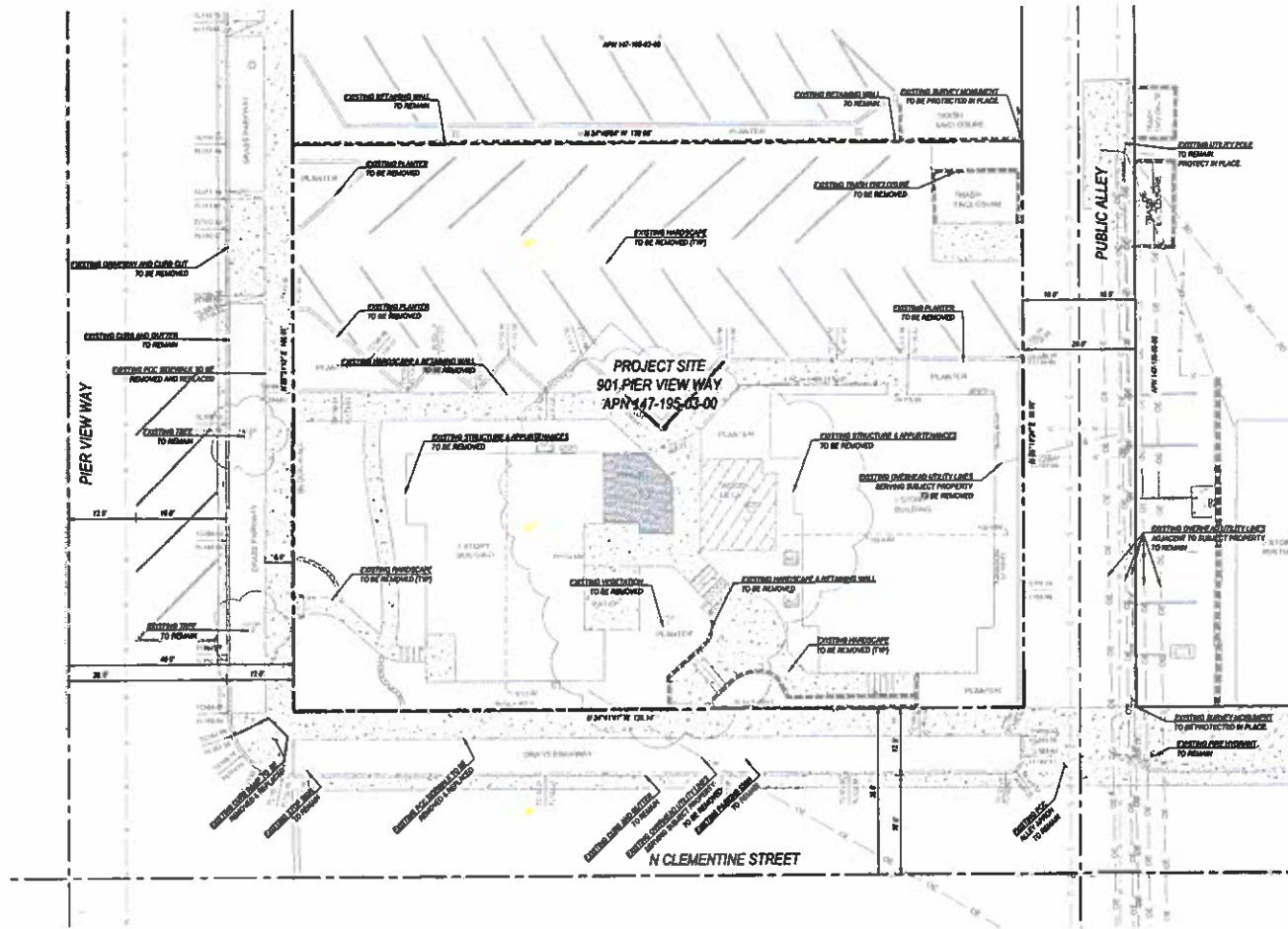
REV	4-10-22
DATE	REVISED
BY	DL
REASON	
APPROVED COMMENTS 1	4-14-22
APPROVED COMMENTS 2	4-14-22
APPROVED COMMENTS 3	4-14-22

COLORED ELEVATION & MATERIALS

Sheet Number:

A3.3

RD22-00002
EXISTING CONDITIONS FOR:
901 PIER VIEW WAY



LEGEND

PROPERTY LINE	---
HIGHWAY RIGHT-OF-WAY	---
ADJACENT LOT LINE	---
CONTIGUOUS LINE OF ROAD	---
EXISTING CONTOUR	---
EXISTING FENCE	---
EXISTING WALKER MARK	---
EXISTING OTHER MARK	---
EXISTING GAS MAIN	---
EXISTING OVERHEAD UTILITIES	---
EXISTING NETWORK WELL	---

SITE NOTES

- EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE IF MONUMENT IS RETURNED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORRECT RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF DISCREPANCIES UPON DISCOVERY.
- ALL SIDEWALK SECTION REPLACEMENTS SHALL BE MADE AT NEAREST EXISTING CONSTRUCTION JOINT'S SPREAD SIDE OF REPLACEMENT, SHOWING NEW JOINTS IF NOT ALLOWED. ALL SIDEWALK PAVEMENT REPLACEMENTS SHALL MATCH EXISTING SIDEWALK PATTERNS.

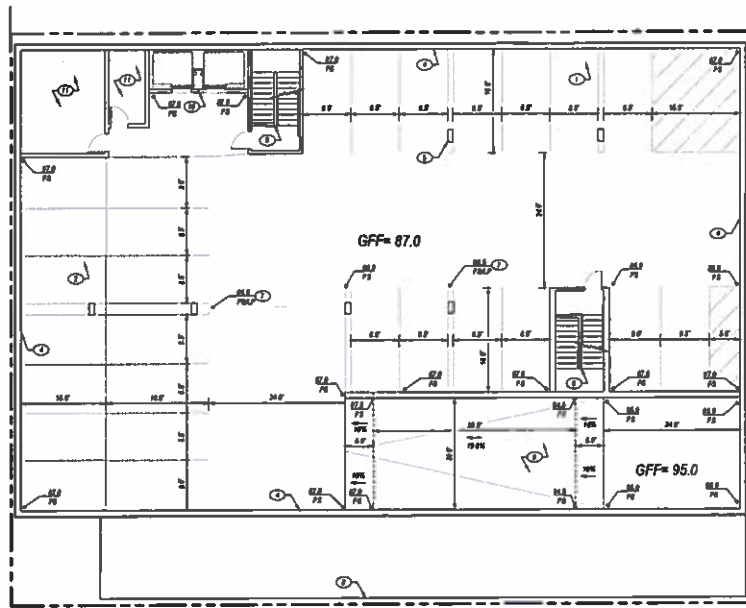
SITE PLAN
 SCALE: 1" = 10'

ENGINEER OF WORK

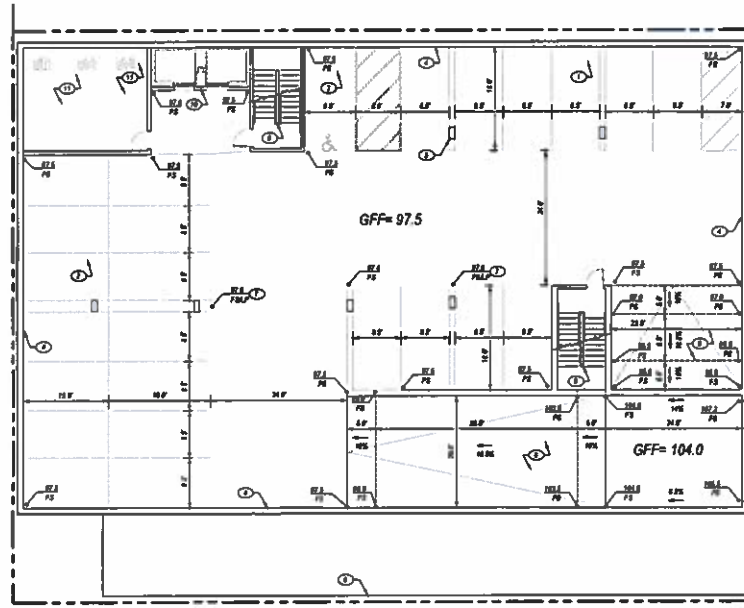
PREPARED BY
PASCO LARET SUITER
 ENGINEERS & ARCHITECTS
 800 West 1st Avenue | Suite 1000 | Pasco, WA 99016
 Phone: (509) 662-1111 | Fax: (509) 662-1112 | www.pascolaret.com

PROJECT NUMBER: RD22-00002 DATE: 04/27/2022

RD22-00002
PRELIMINARY GRADING PLAN FOR:
901 PIER VIEW WAY

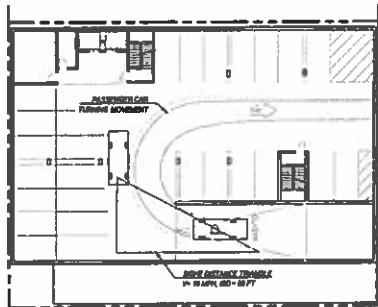


P3 SITE PLAN - BOTTOM FLOOR (SLAB ON GRADE)
 SCALE 1" = 10'

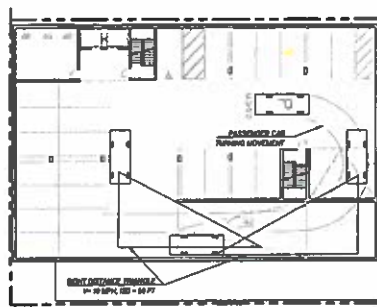


P2 SITE PLAN (FOR REFERENCE ONLY)
 SCALE 1" = 10'

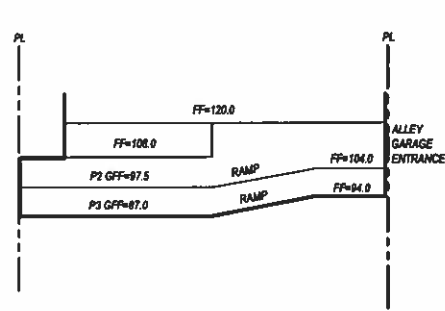
- CONSTRUCTION NOTES**
- ① PROPOSED PARKING STALL PER ARCHT. PLAN (17%)
 - ② PROPOSED TRUCK PARKING STALL PER ARCHT. PLAN (17%)
 - ③ PROPOSED VAN STALL PER ARCHT. PLAN
 - ④ PROPOSED STRUCTURAL WELL
 - ⑤ PROPOSED COLUMN (17%)
 - ⑥ PROPOSED CHANGE AMP. 2% MAX SLOPE
 - ⑦ PROPOSED LOW POINT IN AREA DRAIN ROUTE TO SEWER
 - ⑧ PROPOSED LAFT OF GROUND FLOOR ABOVE
 - ⑨ PROPOSED STAIR PER ARCHT. PLAN
 - ⑩ PROPOSED ELEVATION PER ARCHT. PLAN
 - ⑪ PROPOSED ROOM PER ARCHT. PLAN



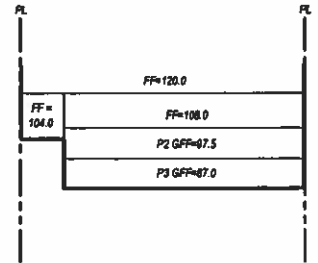
P3 ACCESS DETAIL
 SCALE 1" = 4'



P2 ACCESS DETAIL
 SCALE 1" = 4'



SECTION A-A
 SCALE 1" = 3'



SECTION B-B
 SCALE 1" = 3'

ENGINEER OF WORK

PREPARED BY
PASCO LARET SUITER
 ENGINEERS & ARCHITECTS
 Site Maps | Exhibits | Change Orders
 P:\ENR\RD22-00002\PE & NOTES DATE

ENTITLEMENT CODES
 R022-00002
 R022-00001
 DR22-00007



PROJECT
PIER VIEW MIXED USE
 901 PIER VIEW WAY
 OCEANSIDE, CALIFORNIA

DATE: 09-21-22
 SCALE: SEE DRAWINGS
 DRAWN BY: JRG
 CHECKED BY: JRG

DESIGNED FOR: DATE: 11/11/22
 PRELIMINARY PLAN: 11/11/22
 PRELIMINARY PLAN: 11/11/22
 PRELIMINARY PLAN: 11/11/22

REVISION	DATE
1	
2	
3	
4	

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN - FIRST FLOOR

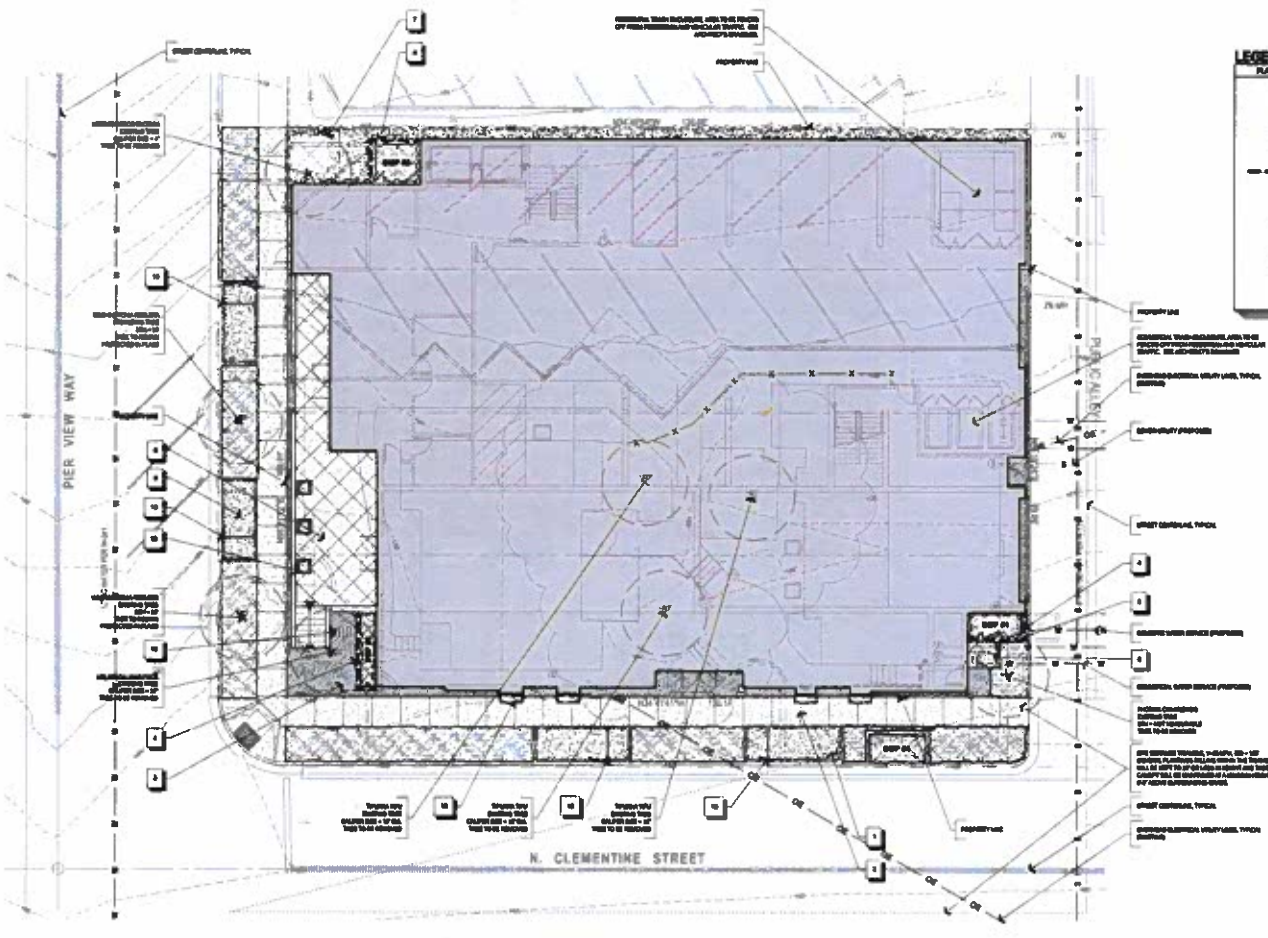
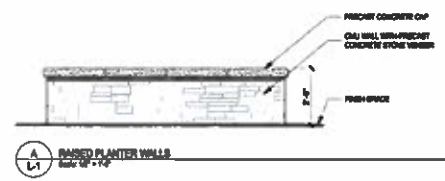
PROJECT NO.: 22-009

SHEET L-1

OF 4 SHEETS

LEGEND / KEY NOTES

PLAN SYMBOL	DESCRIPTION	PLAN SYMBOL	DESCRIPTION
[Symbol]	PLANTING, TYPICAL PLANTING	[Symbol]	SEE SUPPLEMENTAL AND REFERENCED SHEETS TO THIS DRAWING FOR ADDITIONAL INFORMATION TO SUPPORT THESE PLANTINGS
[Symbol]	OFF-BUILDING PROJECTION/COVERED WALKWAY	[Symbol]	EXTERIOR TERRACE/PLANTING
[Symbol]	STRUCTURAL/MECHANICAL/ELECTRICAL/PLUMBING TO BE INSTALLED PER PROJECT	[Symbol]	EXISTING EXTERIOR WALLS OR PROPERTY
[Symbol]	EXISTING EXTERIOR WALLS OR PROPERTY	[Symbol]	EXISTING PLANTINGS
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	EXISTING
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	
[Symbol]	PROPOSED EXTERIOR WALLS OR PROPERTY	[Symbol]	



1 **FIRST FLOOR PLAN**
 Scale: 1" = 10'-0"

PROGRESS SUBMITTAL
 NOT FOR CONSTRUCTION



SITE LANDSCAPE COVERAGE - 6.1% (20 S.F.)

GENERAL NOTES:

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND ORNAMENTALS.
2. LANDSCAPE ARCHITECT SHALL VERIFY VEGETATION, SOILS, GRADE, SLOPES, AND PLACES PLANTING LOCATIONS ACCORDING TO LATEST CITY OF OCEANSIDE REGULATIONS.
3. ALL STREET TREES SHALL COMPLY WITH THE CITY OF OCEANSIDE APPROVED STREET TREES AND ORNAMENTAL DATA.
4. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL EXISTING OR NEW FOUNDATIONS OR LOCATIONS WHERE A FEET OF TREE TRUNK OR ONE PRINCIPAL BRANCH IS PART OF TREE TRUNK IN THE RIGHT-OF-WAY (ROW). ROOT BARRIERS SHALL EXTEND A FEET IN EACH DIRECTION FROM THE CENTERLINE OF THE STREET. ROOT BARRIERS SHALL BE 18" HIGH. ROOT BARRIERS SHALL BE AS DEEP AS DEPTH OF THE ROOT SYSTEM. ROOT BARRIERS SHALL BE 18" WIDE. ROOT BARRIERS SHALL BE 18" WIDE.
5. ALL TREES OR OTHER PLANTS WITHIN THE PUBLIC ROW SHALL BE PLANTED WITHIN THE CITY OF OCEANSIDE STREET AND TO BE MAINTAINED BY THE PROJECT'S OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CITY OF OCEANSIDE'S MAINTENANCE.

IRRIGATION NOTE:

AN IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COMPENSATION FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLTAGE EQUIPMENT SHALL PROVIDE SUFFICIENT POWER FOR PLANTING AREAS WITHIN THE CITY OF OCEANSIDE. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY AUTOMATIC CONTROLS, VALVES, CONTROLLERS, AND OTHER NECESSARY EQUIPMENT. ALL COMPONENTS SHALL BE OF HIGH QUALITY MATERIALS. ALL LOW VOLTAGE SHALL BE ACCURATELY PLANNED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. ALL IRRIGATION APPROVALS SHALL FOLLOW THE CITY OF OCEANSIDE REGULATIONS AND UNDER CONSTRUCTION ORDINANCE.

PLANTING NOTE:

THE SELECTION OF PLANT MATERIALS IS BASED ON CLIMATE, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANT MATERIALS SHALL BE PROVIDED WITH APPROVED SPECIFICATIONS, CULTIVAR, AND APPROVED SOURCE. ALL PLANT MATERIALS SHALL BE PROVIDED WITH PROPER SURFACE SOIL, GROWN FROM THE SITE. GROWN COVERS OR BAGS SHALL BE FULLY IN PLACE TO PROTECT THE SOIL FROM EROSION AND TO MAINTAIN MOISTURE. ALL PLANTING AND ORNAMENTALS SHALL BE PLANTED TO ADEQUATE "TOP" TO ALLOW COMPARISON TO THE SOIL, TEMPERATURE, AND SOIL MOISTURE. THE DESIGN SHALL ALLOW FOR GROWTH TO OCCUR WITH PROPER CARE. ALL LANDSCAPE APPROVALS SHALL FOLLOW THE CITY OF OCEANSIDE REGULATIONS.

PILE NOTES:

1. LANDSCAPE APPROVALS SHALL BE OBTAINED AND INSTALLED PRIOR TO THE START OF THE PROJECT.
2. ALL PILES SHALL BE INSTALLED WITHIN THE CITY OF OCEANSIDE APPROVED PILE APPROVALS.
3. ALL PILES AT INTERSECTIONS SHALL BE INSTALLED WITHIN THE CITY OF OCEANSIDE APPROVED PILE APPROVALS.
4. ALL PILES AT INTERSECTIONS SHALL BE INSTALLED WITHIN THE CITY OF OCEANSIDE APPROVED PILE APPROVALS.

SEWERAGE / STORMWATER MANAGEMENT NOTE:

ALL SEWERAGE STRUCTURES SUCH AS MANHOLE, PIPES, AND SEPTIC SHALL BE SHOWN ON THE CIVIL ENGINEER'S PLANS AND SHALL BE ACCORDING TO THE CITY OF OCEANSIDE REGULATIONS.

GENERAL MAINTENANCE AND COMPLIANCE WITH URBAN FORESTRY REQUIREMENTS ORDINANCE CODE 204

THE PROJECT PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPE, PROPOSED TREES, AND ALL LANDSCAPE APPROVALS. THE PROJECT PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPE, PROPOSED TREES, AND ALL LANDSCAPE APPROVALS. THE PROJECT PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPE, PROPOSED TREES, AND ALL LANDSCAPE APPROVALS.

TREE PROTECT IN PLACE STATEMENT:

THE PROJECT PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPE, PROPOSED TREES, AND ALL LANDSCAPE APPROVALS. THE PROJECT PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPE, PROPOSED TREES, AND ALL LANDSCAPE APPROVALS.

ADA STATEMENT:

ALL TREES AND OTHER PLANTS SHALL BE INSTALLED WITHIN THE CITY OF OCEANSIDE APPROVED PILE APPROVALS.

STREET TREES AND OTHER TREES SHALL BE PROTECTED:

1. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
2. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
3. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
4. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
5. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
6. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
7. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
8. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
9. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
10. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
11. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
12. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
13. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
14. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
15. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
16. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
17. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
18. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
19. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.
20. 4 FEET FROM TRUNK TO CURB OR SIDEWALK.

MINIMUM TREE CANOPY AND PERMEABLE SURFACE AREA REQUIREMENTS

PROJECT SITE AREA	MINIMUM TREE CANOPY AREA	MINIMUM PERMEABLE SURFACE AREA
ONE-AND-A-HALF	12%	20%
TWO TO THREE	16%	24%
THREE TO FOUR	20%	28%
FOUR TO FIVE	24%	32%
FIVE TO SIX	28%	36%
SIX TO SEVEN	32%	40%
SEVEN TO EIGHT	36%	44%
EIGHT TO NINE	40%	48%
NINE TO TEN	44%	52%
TEN TO ELEVEN	48%	56%
ELEVEN TO TWELVE	52%	60%
TWELVE TO THIRTEEN	56%	64%
THIRTEEN TO FOURTEEN	60%	68%
FOURTEEN TO FIFTEEN	64%	72%
FIFTEEN TO SIXTEEN	68%	76%
SIXTEEN TO SEVENTEEN	72%	80%
SEVENTEEN TO EIGHTEEN	76%	84%
EIGHTEEN TO NINETEEN	80%	88%
NINETEEN TO TWENTY	84%	92%

URBAN FORESTRY PROGRAM COMPLIANCE CALCULATIONS PER OCEANSIDE MUNICIPAL CODE #3049

TREE CANOPY AREA

DESCRIPTION	CANOPY DIA. (FT)	CANOPY (SQ)	TREE QUANTITY	EXTENSION (SQ)
PUBLIC RIGHT OF WAY (PER VIEWERS)	10FT	70	3	37
PUBLIC RIGHT OF WAY (N. CLEMENTINE ST.)	20FT	284	2	142
PERMEABLE PLANTING	10FT	70	16	352
TOTAL TREE CANOPY AREA				531
PROPOSED PERMEABLE SURFACE AREA				1,246
PERCENTAGE COMPLIANCE				42.6%

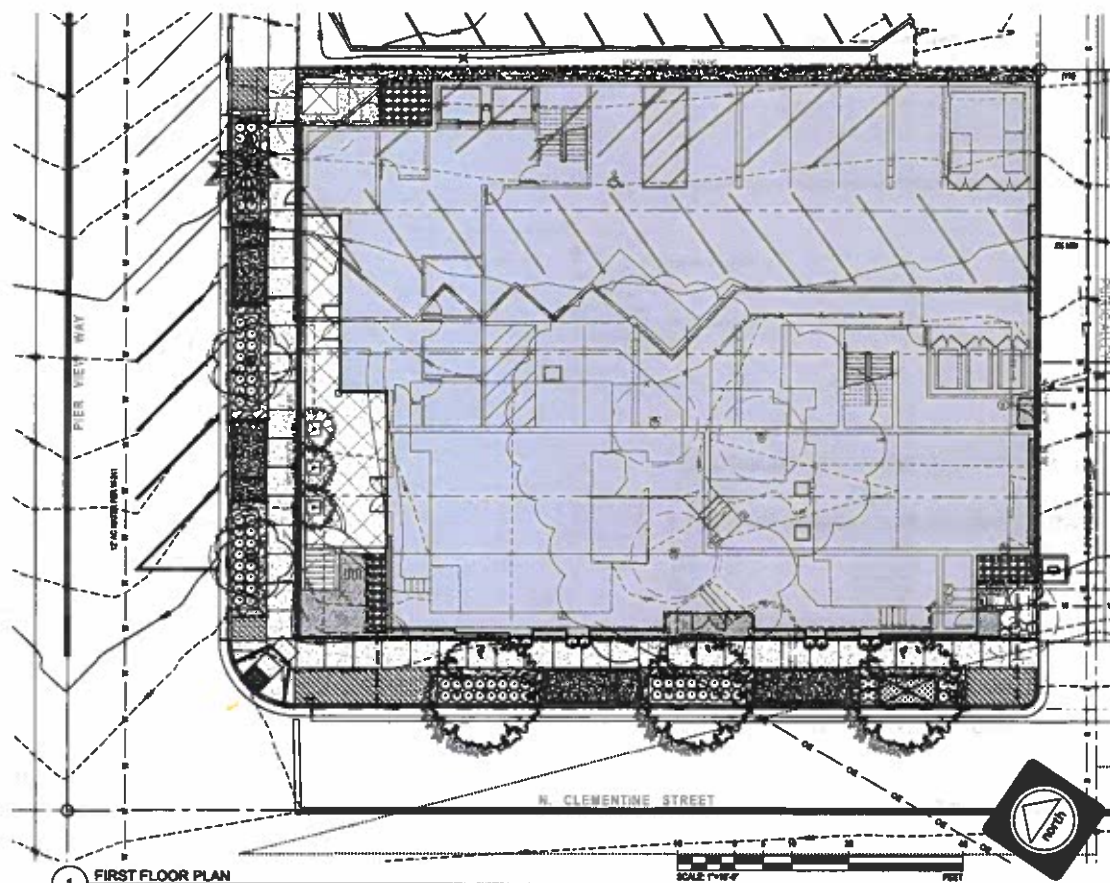
PERMEABLE SURFACE AREA

DESCRIPTION	LANDSCAPE AREA (SQ)
PERMEABLE LANDSCAPE AREA (PERMEABLE AND PERMEABLE SURFACE)	716
PERMEABLE PERMEABLE AREA (PERMEABLE AND PERMEABLE)	1,140
TOTAL PERMEABLE SURFACE AREA	1,856
PROJECT SITE AREA (1,246 SQ. FT.)	1,246
PERCENTAGE COMPLIANCE	14.9%

TREE MITIGATION CALCULATION

EXISTING TREES INCLUDED IN THE CALCULATION MEET THE MINIMUM SIZE STANDARDS OF 8" DBH

TREE TYPE	NUMBER OF TREES	TOTAL DBH AND DBH (INCHES)
EXISTING TREES		
CANOPY TREES	4	8"
PALM TREES	4	8"
TOTAL	8	16"
PROPOSED REPLACEMENT TREES		
CANOPY TREES (8" DBH)	3	24"
CANOPY TREES (6" DBH)	11	66"
PALM TREES	1	8"
TOTAL	15	98"
COMPLETAS DE TRATAMIENTO		82"



UTILITY/EQUIPMENT CODES
R022-00002
R022-00001
DE22-00007



PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA

DATE: 08-21-22
SCALE: SEE DRAWINGS
DRAWN BY: JDB
CHECKED BY: JDB

ISSUED FOR:
PROJECT: PIER VIEW MIXED USE
SUBMITTAL: 1ST FLOOR
SUBMITTAL: 2ND FLOOR
SUBMITTAL: 3RD FLOOR
SUBMITTAL: 4TH FLOOR

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

CONCEPTUAL PLANTING PLAN - FIRST FLOOR

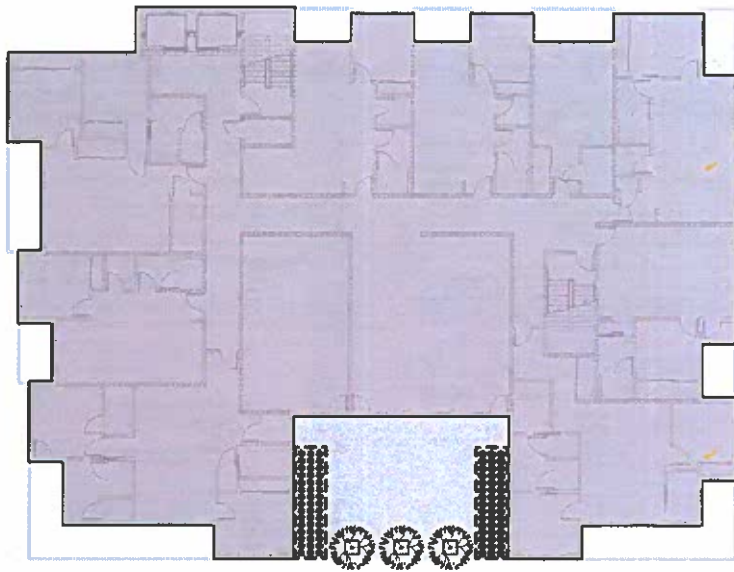
PROJECT NO.: 22-005

SHEET: L-3

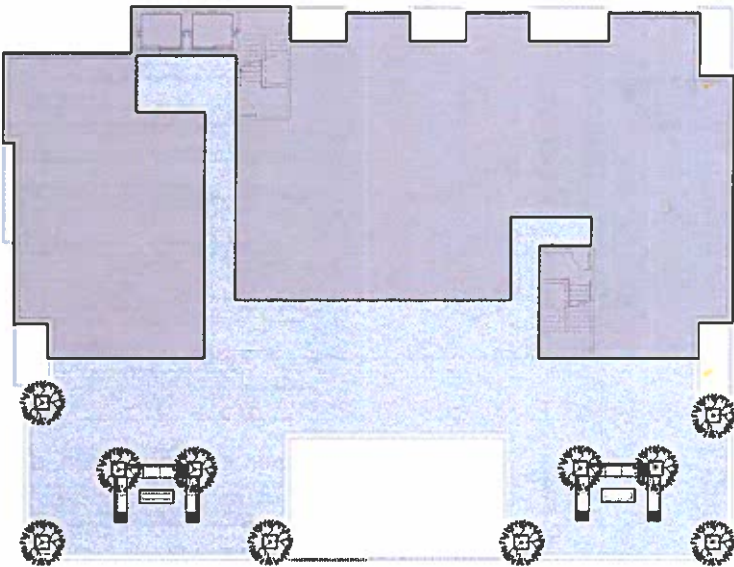
DATE: 08-21-22

PROGRESS SUBMITTAL NOT FOR CONSTRUCTION

*** FOR PLANTING PALETTE, SEE SHEET L-4**



1 SECOND FLOOR PLAN
Scale: 1" = 10'-0"



2 ROOF PLAN
Scale: 1" = 10'-0"

PROPOSED PLANTING PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES - Small			
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	20" DBH
	CASBAH LEPTOPHYLLA	GOLD MEDALLION TREE	48" BOX
TREES - Portulaca Plantum			
	OLEA EUROPAEA 'SERRAN MILL'	SWAN HILL OLIVE TREE	2'-4" BOX
	LAURUS NOBILIS 'SANTITAS'	SHREY BAY TREE	2'-4" BOX
	GINKGO BILOBA 'COPPYETONE'	COPPYETONE LOCUST	2'-4" BOX
SHRUBS - Low Level Accent			
	ARTOCARPUS CORDATUS VARIETY PITREPERIA CONGESTA RUBUS LAEVOFOLIUS ADONIS AEMULUS MORISIA CORDATA PHELOSIPHON RHOXA MORISIA CORDATA MORISIA CORDATA	LOWRY UNDESIGNATED SHRUB NO COMMON NAME PIRE COVER SHRUB FOXTAIL LOWRY UNDESIGNATED SHRUB PERSIMMON WATERBURY PALM LITTLE RED WATTLE LITTLE RED WATTLE	6 GAL. 6 GAL. 6 GAL. 1 GAL. 6 GAL. 6 GAL. 6 GAL. 6 GAL. 6 GAL.
FLOWERING PERENNIALS			
	LAVANDULA CLAMMIFLORA FRASCARA SANTALINA	SHRUB SHRUB SHRUB SHRUB	1 GAL. 1 GAL. 1 GAL. 1 GAL.
GRASSES & GRASS LIKE - Large and Small Scale			
	DIAPYCNON ARTEMISIA LOXOSTACHYS LOXOSTACHYS CAREX CHENOPODIUM	FLAX LILY SILVER CHOCOLATE SILVER CHOCOLATE SILVER CHOCOLATE SILVER CHOCOLATE SILVER CHOCOLATE	1 GAL. 1 GAL. 1 GAL. 1 GAL. 1 GAL. 1 GAL.
CACTUS & SUCCULENTS			
	AGAVE ALOE COYONDO SANTALINA SANTALINA	NO COMMON NAME NO COMMON NAME NO COMMON NAME SUN-BLUE SUN-BLUE	1 GAL. 1 GAL. 1 GAL. 1 GAL. 1 GAL.
TEMP PLANTINGS			
	ACACIA ACACIA	SHRUB SHRUB	1 GAL. 1 GAL.
GROUND COVERS			
	SLIPPA	SLIPPA	600
	DECOMPOSED GRANITE		
	3/8" DIA. PEA GRAVEL		

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION



ENTIREMENT CODES
R222-00002
R222-00001
R222-00007



PROJECT
**PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA**

DATE: 09-21-23
SCALE: SEE DRAWINGS
DRAWN BY: JSS
CHECKED BY: JSS

REVISION	DATE
1	
2	
3	
4	

REVISIONS
DATE

SHEET TITLE
**CONCEPTUAL
PLANTING
PLAN - SECOND
FLOOR & ROOF**

PROJECT NO.: 22-009

SHEET: L-4

OF 4 SHEETS

2023-09-23, 10:10 PM, P:\22-009\22-009-01.dwg





901 Pier View Way Description & Justification Mixed-Use Development Plan, Density Bonus, and Parcel Map

Project Setting and Overview

901 Pier View is a mixed-use development¹ project comprising sixty-four (64) residential units above 2,474 sq. ft. of ground-floor commercial space at the southeast corner of Pier View Way and Clementine Street. The project includes market rate and low-income rental housing, publicly accessible open spaces, activated streetscapes, enclosed parking, drought tolerant landscaping, and a host of amenities, all within an energy efficient building.

The entitlement application is for a Mixed-use Development Plan with a Density Bonus and a Parcel Map. The General Plan designation for the site is *Downtown* and a zoning designation of *Downtown - Subdistrict 2*, which allows mixed-use development. The project will also include a Parcel Map requesting four or fewer condominiums to separate ownership of the residential and commercial components of the project into respective legal parcels.

The site consists of one parcel of approximately 13,249 sq. ft. located at the southeast corner of Pier View Way and Clementine Street with APN 147-195-03-00. The site is currently improved with two residential structures. Existing uses in the vicinity include civic facilities, commercial offices, retail, and a mixture of single-family and multifamily residential units.

Mixed Use Development Plan

The Development Plan includes demolition of the existing improvements and construction of a seven-story, vertically mixed-use building. The project is designed to provide a vibrant mix of uses with commercial spaces anchoring the building at the ground level and rental housing above.

The residential component will be comprised of stacked flats with an average unit size of 780 sqft. The building includes a courtyard/viewing lounge at the podium level, a rooftop deck, and multiple internal amenity spaces. Access to the residential floors (levels 2-7) is from an elevator bank and two stairwells. A summary of the floor plan mix for the residential units is listed in Table 1.

Table 1

Plan Type	Sq. Ft.	Bedrooms	Baths	Units
Studio	440-520	0	1	6
1-bedroom	630-850	1	1	40
2-bedroom	950-1175	2	2	18
Total				64

¹ Consistent with density bonus law, and the City's interpretation of the same, the project does not require a conditional use permit to include residential uses as part of the mixed-use development.

The ground level space will be enclosed within a space ranging in height from 12' to 16' within a concrete structure with approximately 1,334 sf of residential leasing and lobby space oriented along Pier View Way and approximately 2,474 sf of commercial space fronting both Pier View Way and Clementine Street. The commercial space has been flexibly designed to accommodate restaurant, retail, and/or office uses. The ground floor also includes a public plaza oriented along Pier View Way, designed as a public amenity for both visitors and patrons alike.

Primary site access, including entry to the parking garage, will be from the existing alley off Clementine Street. There is one entry to the grade-level garage and a second entry to the below-grade parking. Both entry points will be gated with the at-grade garage open during business hours and the below-grade garage secured but for resident vehicle access. The existing curb cut on Pier View Drive will be closed and replaced with four new street parking stalls.

Due to its proximity to the Oceanside Transit Center (<.5 mi), the project is located within the *Downtown Transit Oriented District (TOD)*, providing multi-modal and multi-directional mass transit. Additionally, high-frequency bus service is located on portions of Pier View Way connecting with Mission Avenue to enable residents and patron's additional options for public transportation. Our proximity to transit, along with the availability of bicycle storage on site, support *alternative transit options* and allows movement throughout the region without primary reliance on personal vehicles. Because our site is in the *TOD area and provides variable mixed-use parking and alternative transit options*, the project is eligible for parking incentives.

The property will provide a total of 74 stalls, of which 64 stalls are within the garage. The lower garage levels provide 52 stalls of which 35 are standard sized stalls (8'-6" x 18') and 17 are compact sized stalls (8' x 18' and 8'6"x15'). Additionally, one (1) ADA parking stall shall be assigned within the lower garage. The grade-level garage provides 12 stalls to include 11 residential stalls and 1 commercial stall. Of the 12 grade-level stalls, 9 are standard size, 2 are compact size, and one is designated ADA. The design of the grade-level garage supports building operations such as recycling and trash removal. Resident parking will be managed by on-site property management with tandem stalls assigned to two-bedroom units.

Because the site is within the Downtown TOD area, on-street parking along the street frontage may be included as eligible parking for the project's non-residential commercial uses. Currently, there are six stalls located on the property's street frontage - three angled spaces exist along Pier View Way and three parallel stalls exist on Clementine. The project proposes to fill in the existing property curb cut on Pier View Way and replace this section with four angled stalls. In sum, the project will increase the number of street stalls from 6 stalls to 10 stalls.

There are five bicycle racks supporting 30 bicycle parking spaces at grade level at the corner of Clementine and Pier View Way, plus 50 vertical bicycle racks for resident and employee use within the lower-level parking garage. The visitor bicycle parking at the corner of Clementine and Pier View near the main entrance is strategically located to further encourage the use of alternative transportation.

See Appendix Exhibit A: Development Standards Comparison

See Appendix Exhibit B: City's parking regulations Comparison to Project's Parking Plan

Building Architecture

The building's architecture and aesthetics complement the downtown district's prominent architecture in a contemporary version of mid-century modern. The architecture is notable for its clean lines, mating of indoor and outdoor spaces, natural materials, natural color tones, large windows, open floor plans, and extensive landscaping.

Project Amenities

The project includes amenities for the convenience and leisure of residents in both indoor and outdoor spaces. Interior amenity spaces include work-from-home options, community Wi-Fi, a fitness center, an indoor/outdoor social lounge, a mezzanine viewing deck, a rooftop viewing deck, e-bike charging, surfboard storage, and wash stations.

The leasing office, which includes a mail and package center, will be staffed during business hours. Elevators are located near the designated move-in area to provide easy access to the residential levels. A separate area for bicycle storage is included near the garage. Additionally, showers and washing equipment shall be available to residents to wash bikes and beach equipment.

Landscape Design

The landscape is designed to ground the project with the public pedestrian and bike access along Pier View Way, and to enhance the streetscapes along both Pier View and Clementine Street. A plaza along Pier View Way will be open to the public and shall be made available to commercial tenants and patrons. Other onsite areas are designed to provide for passive recreational amenities and outdoor living areas for future residents, including seating areas and landscape features in the courtyards for sheltered outdoor space. The design expands on the architectural style with the use of a lush yet drought tolerant palette that uses color, texture, and form to complement and enhance the buildings architecture.

Stormwater Management

Storm water runoff from the roof drains to multiple lined biofiltration planter basins located on the second floor and ground level for pollutant control. The flow will then discharge to Clementine Street and Pier View Way via curb outlets and into the storm drain system. Runoff from the exposed second floor and roof will drain to a single lined biofiltration basin located adjacent to Clementine Street. The flow will then discharge to Clementine Street via curb outlets and into the storm drain system. The project is exempt from hydromodification requirements.

Open Space

Open space for the community includes private outdoor living space on balconies, patios, and roof decks. These spaces total 9,403 sf equaling 146 sf/unit.

CEQA

The proposed project meets the following criteria for a CEQA 32 Infill exemption¹:

- Is consistent with applicable General Plan policies and zoning regulations
- Is located within city limits on a site not larger than five acres
- The site has no value as habitat for special-status species
- The project does not cause significant impacts related to air quality, noise, traffic, or water quality
- The site is adequately served by utilities and public services

1. Per Resolution No 20-R0032-3, the site was previously designated a Class 32 Infill Exemption site on January 22, 2020.

Affordable Housing, Density Bonus and Waivers and Incentives

The State of California's Density Bonus Law (Government Code §65915-65918) was established to promote the construction of affordable housing units and allows projects to exceed the maximum designated density and to use development standard waivers, or incentives and concessions, in exchange for providing affordable housing units in compliance with all current density bonus regulations. The City of Oceanside zoning regulations implement the state requirements, although the Downtown Zoning Ordinance removes density limits for all mixed-use projects in the downtown zone.

The 901 Pier View project comprises 64 apartment homes of which seven units shall be deed-restricted at the Low-Income level. As calculated, the project complies with both the City's *Inclusionary Housing Ordinance* and meets the provisions of *Density Bonus Law* regarding affordable housing. Affordable units shall be proportional to the overall project in unit size, dispersed throughout the project, and have access to all amenities available to market rate units.

Two detached homes exist on the site, which are currently rented at market rents above the *moderate rent level*¹.

¹ Moderate rent level is defined in Section 50093 of the Oceanside Health and Safety Code and all subsequent amendments or revisions.

Incentives and Waivers

State Density Bonus Law entitles the project to certain incentives and unlimited waivers. By providing 10% low-income units, this project is entitled to one incentive/concession.

The project proposes an incentive to eliminate the requirements to underground utility/electric lines along adjacent public streets.

Density Bonus Law also provides for waivers. The granting of waivers does not reduce the number of incentives allowed on a project, and the number of waivers that may be requested and granted is not limited.

To accommodate the project as proposed, and as allowed under Density Bonus Law, the project cannot physically comply, strictly, with all development standards. To accommodate the project's affordable units, the project seeks the following waivers for the reasons stated.

- Building Height. The proposed building roofline is at approximately 80' with an elevator projecting to 94'. Should the applicant apply the 65' base height the project could not be physically built to support the density bonus affordable units.
- Setback: Per the City's Chapter 12.32 zoning code, "D District Property Regulations" downtown projects require 10' setbacks. The property's dimensions are 130' length and 100' width for approximately 13,000 sqft surface area. When applying the 10' setback requirement, the length is reduced to 110' and the width is reduced to 90' for a buildable surface area of 9,900 sqft. This equates to a 23.8% reduction in buildable area and would physically preclude the construction of the project.
- Garage Drive Aisle Width and Parking Stall Offset: Similar to the setback waiver, given the geometry of the site, the project could not be physically constructed strictly with the City's development standards and provide the requisite parking spaces for the project. Thus, the applicant is utilizing a waiver to reduce the standard 24' drive aisle to 20', reduce the 12" offset from internal structural columns to 6" and allow for a small portion of the required parking stalls to be compact spaces.
- Open Space: 200 sq. ft. per unit total open space required inclusive of 48 sq. ft. minimum of private open space per residential unit. The applicant has provided approximately 146 sq. ft. of open space per unit. The project could not physically be constructed with additional open space incorporated.
- Landscaping Minimums: the current zoning standard requires a 20% blended percentage of the site's surface area to be landscaped or approximately 2,600 sqft. The applicant is able to provide approximately 6.2% landscaping into the project. Additional landscape would physically preclude construction the project.

SUMMARY

The 901 Pier View project would transform an underutilized property into a modern mixed-use structure that increases the supply of housing to meet the needs of residents across the economic spectrum adds Class-A commercial space to activate Pier View Way and provides for open spaces for the public's benefit. Also, this is one of the first projects within the TOD area. 901 Pier View will demonstrate environmental leadership through its energy efficiency, consistency with the

climate action plan, reduction of vehicle miles travelled, increasing opportunities for walking/biking, and integrating public transit.

FINDINGS

REQUIRED FOR MIXED-USE DEVELOPMENT PLAN

The City of Oceanside Downtown Zoning Ordinance stipulates that the following be shown for a Mixed-Use Development Plan:

1. That the total number of dwelling units in the Downtown District shall not exceed 5,500 (or any future limit established by the City's General Plan).

In August 2019, City staff estimated approximately 2,300 residential units existed in the Downtown District. The 64 dwelling units proposed for the 901 Pier View project is approximately 1.4% of the remaining units and will not cause the total number of dwelling units in the Downtown District to exceed 5,500.

2. That the Mixed-Use Development Plan will enhance the potential for superior urban design in comparison with development under the regulations that exist if the Development Plan were not approved;

The 901 Pier View Mixed-use Development Plan will provide a pedestrian-oriented, energy efficient, mixed-use development project within the downtown TOD that provides housing options across the economic spectrum. The project's commercial façade promotes flexible-use spaces, with ground floor pedestrian orientation enhanced with native vegetation both at the street level on Clementine and at the street and plaza level on Pier View Way. Parking is primarily located within a subterranean garage and a ground level parking that is screened from public view. The Mixed-Use Development Plan elements will contribute to the ongoing transformation of the urban core.

3. That the Mixed-Use Development Plan is consistent with the adopted Land Use Element of the Redevelopment Plan and other applicable policies, and that is compatible with development in the area it will directly affect;

The project provides mixture of commercial and residential uses consistent with the approved uses and purposes within the Redevelopment Plan. Additionally, the project furthers many of the most prominent land use policies as stated in the City's Land Use Element to include i.) the inclusion of Low-Income affordable units (par 1.16), ii.) provides natural circulation of breezes, PV solar capture, and expansive views (Par 1.2), iii.) drought tolerant, native vegetation acting as a softening layer between the building and its surrounding environment (Par 1.22), iv.) and architecture that is consistent with its surrounding uses and enhances the built environment in the community (Par 1.23).

4. That the Mixed-Use Development Plan includes adequate provisions for utilities, services, and emergency access, and public service demands will not exceed the capacity of existing systems;

The area covered by the Mixed-Use Development Plan is in a downtown infill location and can be adequately and conveniently served by existing and planned public services, utilities, and public facilities. All water, wastewater, and electrical services are available within the surrounding developed public roadway systems and within existing public utility easements.

5. That the traffic expected to be generated by development in accord with the Mixed-Use Development Plan will not exceed the capacity of affected streets;

The 901 Pier View mixed-use project shall not generate more traffic than has been planned for the area. Residents and employees shall have alternative transportation options (bike, bus, ride-share) and the project also utilizes variable parking to provide smart parking options for its mix of uses.

6. That the Mixed-Use Development Plan will not significantly increase shading of adjacent land in comparison with shading from development under regulations that would exist if the Mixed-Use Development Plan were not approved.

Shading on adjacent lots is minimal except in the winter when shadows fall on the commercial space to the north and the parking lot across the street to the east. Shading on these sites would also occur to some extent under standard height allowances. No existing residences are impacted by shading.

7. That the benefits derived from the Mixed-Use Development Plan include but are not limited to traffic capture and pedestrian activity, by way of "active" street frontages and provision of flexible nonresidential use spaces at street level, where appropriate.

The Mixed-Use Development Plan incorporates design features to provide flexible, ground-level spaces available for residential and commercial uses, including building design along Pier View to encourage bicycle parking at the ground level. Additionally, the elimination of the curb cut on Pier View Drive reduces the potential car-pedestrian conflicts on Pier View Way. The project also promotes use of the alley as the entrance for all off-street parking for the Project.

Exhibit A provides a summary of the regulations and where the proposed mixed-use standard deviates from the base development regulations, a summary of the reason for each proposed modification is noted.

901 Pier View Drive Development Standards/Regulations Comparison between Mixed Use Development Plan, Standard Requirements, and Project				
Regulation	Mixed Use Plan Requirement	Project as Proposed	Current Zoning Requirements	Notes
<i>Note: All references to Sections or Articles are from the City of Oceanside Zoning Ordinance, as applicable within the D District.</i>				
Maximum Potential Density	No density cap downtown per Zoning Section 1232 (D) (2)	Maximum density limits and floor area ratio regulations are <u>not applicable</u> to the residential component of a mixed-use development, as approved by City Council on Aug. 21, 2019 under Resolution 19-R0562-1. The project is proposing 210 dwelling units per acre.	No density cap downtown per Zoning Section 1232 (D) (2)	Complies with code. Consistent with the City's Density Bonus Ordinance (3032), 10% of the project's units shall be reserved for households at the "low-income" level as defined in the city's ordinance.
Minimum Lot Area	5,000 sq. ft.	13,500	5,000 sq. ft.	Complies with code
Minimum Lot Width	50'	~ 120'	50'	Complies with code
Setbacks:				
Front	0 feet	1 ft	10' (residential) 10' (non-residential) Amended under Mixed Use Development Standards and	Waiver to accommodate affordable units

			with Waiver under density bonus to accommodate development at density proposed.	
Side/Corner Side	0 feet	2 ft for interior side and 1 ft for exterior side	10' (residential lots over 75' ft. wide) 0 feet side / 10' corner side (non-residential) Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Rear	0 feet	1 ft	5' (residential) 0 feet (non-residential) Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Maximum Height:				
Maximum Height of Structures	65' 90' feet with a Conditional Use Permit	80' top of roof	65 feet 90 feet with a CUP With waiver to accommodate development at density proposed and CUP not	Waiver to accommodate affordable unit

			required for density bonus project	
Maximum Height of Elements allowed to exceed maximum	10 feet above applicable base zoning limit per Section 3018	94' top of elevator to accommodate required elevator hoist beam	10 feet above applicable base zoning limit per Section 3018	Waiver to accommodate affordable unit
Minimum Site Landscaping	0%	820 SF = 6.2%	20% minimum blended residential and commercial ratio. Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Open Space	A minimum of 4,000 square feet of open space (total of indoor and outdoor) shall be provided, with 30 % minimum of the total to be common outdoor open space.	9,403 square feet of total open space including: -945 sq. ft. shared 2nd floor terrace outdoor space -1,515 sq. ft. shared indoor common fitness and social lounge area, - 4,143 sq. ft. roof deck - 591 sq. ft. 1st floor common	200 sq. ft. per unit of total open space inclusive of 48 sq. ft. minimum of private open space per unit (residential) Amended under Mixed Use Development Standards and with waiver under density bonus to accommodate	Waiver to accommodate affordable unit

		<p>patio area, and -2,209 sq. ft. private outdoor space on balconies.</p> <p>This equals <u>146 sq. ft. total per unit.</u></p>	<p>development at density proposed.</p>	
Courts Required	Courts opposite windows are required for all multifamily development in accordance with regulation (EE) of Section 1232	Courts meet minimum current code size requirements. No change per typical standard.	See Section 1232 (EE) (residential) No courts required (non-residential)	Complies with code
Required Façade Modulation	Minimum 35% total over all front and side street elevations (not incl. alleys), with a minimum of 8% on any one façade facing a public street, must be set back at least 5 feet from setback line.	<p>66% of the building is setback 5' or greater from Pier View Way.</p> <p>71% of the building is setback 5' or greater from Clementine.</p>	<p>25% of front and side street elevation horizontal and/or vertical must be set back at least 5 feet from setback line (residential)</p> <p>No modulation required (non-residential)</p>	Complies with code
Screening of Mechanical Equipment	See Section 3021	Meets standard requirements	See Section 3021	Complies with code

Underground Utilities	Section 3023	No undergrounding of utilities lines proposed.	Section 3023	Incentive to accommodate affordable unit
Renewable Energy Facilities	Section 3047	Project meets requirements with purchase of renewable energy portfolio as providing 50% onsite renewable energy is not feasible.	Section 3047	Complies with code
Electric Vehicle Parking and Charging Facilities	Section 3048	Meets standard requirements	Section 3048	Complies with code
Urban Forestry Program	Section 3049	Project meets minimum tree canopy area using alternative to include street trees in adjacent public parkway. Total area is 1,261 SF or 9.5%. City requirement is 7%. Project meets minimum permeable surface with landscape parkway, with credits applied from coverage of tree canopy. Total area is 2,187 SF or 16.5%. City requirement is 10%	Section 3049	Complies with code

Exhibit B provides a summary of the City's parking regulations and the composition of the project's parking plan.

Off Street Parking with Density Bonus				
Description	Mixed Use Plan Requirement	Project as Proposed	Current Zoning Requirement	Notes
Parking Stalls Residential	1.5 stalls: 1BR/Studios 2.0 stalls: 2BR Guest: 20%	64 total spaces in garage: 43 standard 19 compact 2 ADA (Note: 28 total spaces are tandem) 7 spaces on Pier View on contiguous street frontage. Note: all street spaces shall be available for residential and commercial guest parking.	Per Section 3105 - Reduced Parking Other Uses 1.0 stall: market rate 1BR/Studio 1.5 stall: market rate 2BR 0.5 stall: inclusionary studio 1 stall: inclusionary 1 BR 1.25 stall: per inclusionary 2 BR Visitor = No Additional Parking Required <u>Required Residential Parking</u> 5 - market rate studio: 5 stalls 1- inclusionary studio: .5 stalls 35 - 1 bedroom: 35 stalls 5- inclusionary 1BR: 5 stalls 17 - market rate 2BR: 25.5 stalls <u>1- inclusionary 2BR: 1.25 stalls</u> Total Required: 73 stalls minus 25% TOD reduce 55 stalls <i>Note: Mixed Use development plans within the downtown TOD may receive a parking reduction of up to 25% based on specific criteria and count the on-street parking spaces available on contiguous street frontage toward the total number of parking spaces required for non-residential uses per Section 1232 (W).</i>	Complies with code

Parking Stalls Non-Residential	Use Table varies per Article 3103	9 commercial spaces provided 3 spaces on Clementine on contiguous street frontage Note: all street spaces shall be available for residential and commercial guest parking.	1 space / 200 sq. ft. retail sales <u>Required Retail Parking</u> 2,474 sq. ft / 200 = 12 stalls TOD reduction = 9 spaces <i>Mixed Use development plans within the downtown TOD may receive a parking reduction of up to 25% based on specific criteria and count the on-street parking spaces available on contiguous street frontage toward the total number of parking spaces required for non-residential uses per Section 1232 (W).</i>	Complies with code
Total Spaces	See section 3103	64 Garage Spaces 7 street spaces (Pier View) <u>3 street spaces (Clementine)</u> 74 total spaces provided	Residential Required = 73 Sp. <u>Commercial Required = 12 Sp.</u> Total 85 Sp. 25% TOD reduction = 64 Sp.	Complies with code
Indoor Bicycle Spaces	None required	50 vertical lockable racks	None required	Complies with code
Public Bicycle Spaces	1 commercial space per 3108	5 public racks for a total of 30 spaces	1 commercial space per 3108	Complies with code
Loading Spaces	None required	None provided	None required	Complies with code



4429 Morena Boulevard
San Diego, California 92117
658.581.2250

December 7, 2022

Fidelis Advisors
Attention: Will Winkenhofer

Re: 901 Pier View Way, Oceanside – Overhead Conversion

Mr. Winkenhofer

We have examined the costs associated with undergrounding the existing overhead electrical and communication utilities on the adjacent streets of the 901 Pier View Way Project. This cost opinion provides an identifiable cost associated with the undergrounding. This cost opinion includes utility fees & labor, sub structures, & contractor costs associated with the undergrounding.

Notes:

- Undergrounding the existing electrical lines would require the removal of 3 poles and 2 pole top transformers. The transformers would need to be converted to pad mounted structures and placed on the new property. SDG&E would classify these transformers as R15 and require an easement since they would serve offsite customers. Significant adjustments would need to be made to the site to accommodate these transformers.
- SDG&E would set a new cable pole in the alley way to the west to connect the conversion to their existing overhead system.
- The existing alleyway is approximately 19' wide. With the existing wet utilities in place there is not enough space to create a new joint trench for the conversion while meeting city clearance requirements. It would require a deviation from SDG&E to dig alongside the existing gas main.
- The developer would need to replace the existing customers Overhead connections with underground services. This would require trenching on the customers property & installation of new equipment on each building.
 - Each customer would need to approve the developers work on their properties. A single property owner who refuses to allow this work could hold up the entire conversion. Approximately 3 or more lots would be affected.

Please contact us if you have any questions or need further clarification, (858) 414-5589.

Sincerely,
UTILITY SPECIALISTS SOUTHWEST, INC.

Michael Pinzini
Project Manager



4474 Training Boulevard
 San Diego, California 92117
 619.581.2250

Dry Utility Overhead Conversion - Cost Opinion

Fidelis Advisors

901 Pier View Way

12/7/2022

Item	Quantity	Unit Cost	Cost	Potential Refund	Net Cost	NOTES:
SDG&E Structures & Fees		\$ -	\$ 120,000	\$ -	\$ 80,000	SDG&E transformers, pole, & anchor
AT&T Relocation Fees		\$ 50,000	\$ 50,000	\$ -	\$ 50,000	AT&T Relocation fee
CATV Relocation Fees	2	\$ 25,000	\$ 50,000	\$ -	\$ 50,000	Cox & Charter Relocation Fee
					\$ 180,000	
Contractor Costs						
Contractor - Mainline Trench	400'	\$ 260	\$ 104,000	\$ -	\$ 104,000	Mainline Trenching Fees
Contractor - Sub-Structures		\$ -	\$ -	\$ -	\$ 26,000	SDG&E & Communication sub-structures
Contractor - Re-Feed Existing Services	2	\$ 13,000	\$ 26,000	\$ -	\$ 26,000	Trenching and Equipment
Sub-Total					\$ 156,000	

GRAND TOTAL

\$ 336,000

City of Oceanside
Development Services Department
Memorandum

DATE: February 15, 2023

TO: Downtown Advisory Committee

FROM: Shannon Vitale, Senior Planner

SUBJECT: CONSIDERATION OF A TENTATIVE PARCEL MAP (RP22-00001), DEVELOPMENT PLAN (RD22-00002), AND DENSITY BONUS REQUEST (DB22-00007) TO ALLOW THE CONSTRUCTION OF A MIXED-USE DEVELOPMENT PROJECT COMPRISED OF 64 RESIDENTIAL UNITS, INCLUDING SEVEN DEED RESTRICTED LOW-INCOME UNITS AND APPROXIMATELY 2,500 SF OF COMMERCIAL SPACE AT 901 PIER VIEW WAY. – 901 PIER VIEW WAY – APPLICANT: WILLARD WINKENHOFER

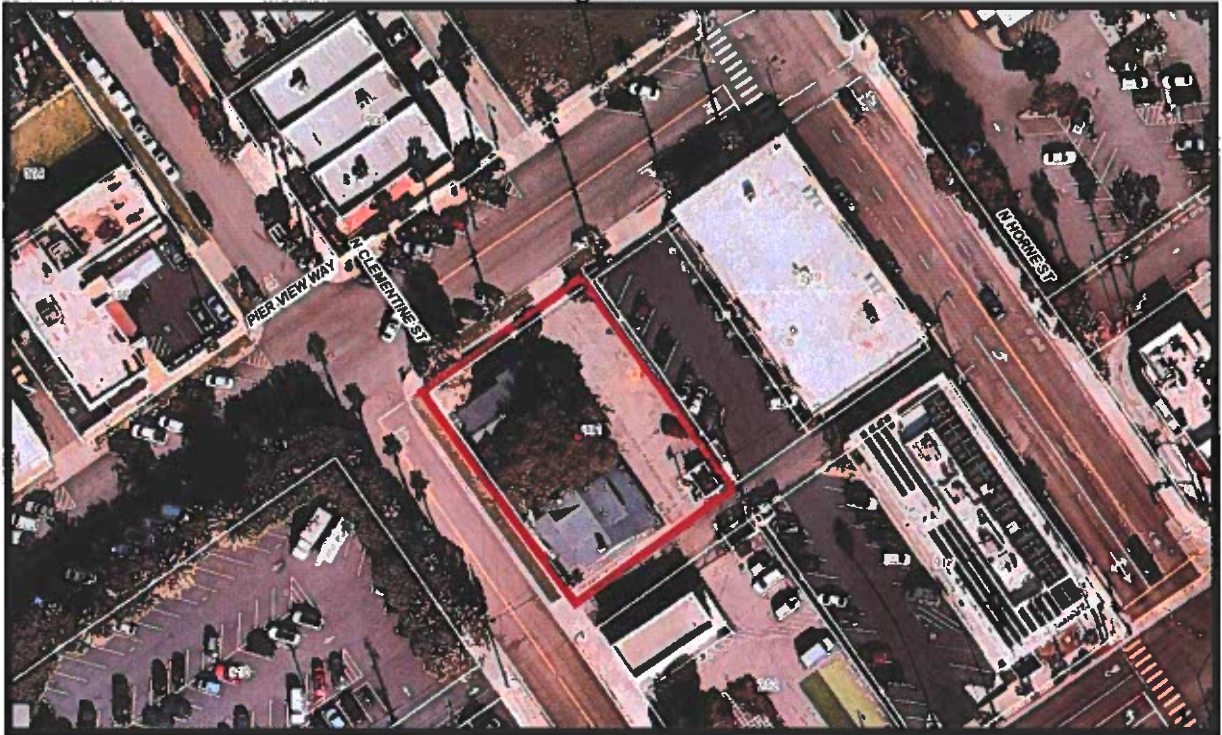
Location & Background

The project site is located at 901 Pier View Way (APN147-195-03). Situated within the Townsite Neighborhood Planning Area, the site has a General Plan land use designation of Downtown (D) and a zoning designation of Downtown District 2 (D-2). Located on the south east corner of Pier View Way and North Clementine Street, the subject property is approximately 13,000 square feet and developed with two single-family residences and surface parking. Surrounding uses include a mix of civic facilities, offices, retail, and single and multi-family residential units. The project site is located 0.5 miles from the Oceanside Transit Center and is within the Transit Overlay District. The project site (outlined in red) and surrounding areas are depicted in Figure 1.

On October 23, 2019, the Downtown Advisory Committee (DAC) reviewed a project consisting of a Development Plan and Conditional Use Permit for the construction of a four-story mixed-use project consisting of 2,000 square feet of ground floor commercial space and 12 residential units on the subject property. The DAC voted 8-0 to recommend approval of the project to the Community Development Commission (CDC). On January 22, 2020, the CDC approved the project. As part of that approval, the CDC allowed a parking reduction from the required 30 onsite spaces to 22 onsite parking spaces. The project did not move forward and the associated entitlements have expired.

On July 28, 2022, Planning Division staff received an application for a Tentative Parcel Map (RP22-00001), Development Plan (RD22-00002) and Density Bonus request (DB22-00007).

Figure 1



Project Description

The project application is comprised of three components: A Tentative Parcel Map, Development Plan, and Density Bonus Request as follows:

Tentative Parcel Map (RP22-00001) represents a request for the following:

The development of an airspace condominium map to separate ownership of the residential and commercial components of the project.

Development Plan (RD22-00002) represents a request for the following:

To allow the demolition of the two existing single-family residences and the construction of a seven-story, approximately 65,000 square foot vertical mixed-use building. The building includes approximately 2,500 square feet of ground floor commercial space fronting Clementine Street and the northwest portion of Pier View Way, 64 for-rent residential apartments in six levels above the commercial space, a leasing office, amenity areas, and parking garage.

The second floor of the building is the first floor dedicated to residential use and includes nine units, a fitness center, lounge, and terrace area. Floors three thru seven have identical layouts and are each comprised of 11 units. The residential units range in size from 440 square-foot studio units to 1,175 square feet two-bedroom units, with an average unit size of 788 square feet. Table 1 provides a summary of the floor plans for the residential units.

Table 1: Floor Plans

Plan Type	Square Feet	Bedrooms	Baths	# of Units
Studio	440-520	0	1	6
1 bedroom	630-850	1	1	40
2-bedroom	950-1175	2	2	18
Total				64

The main pedestrian entry for residents is located off Pier View Way and includes a residential lobby and leasing office. There is a courtyard and viewing deck on the second floor as well as a rooftop deck and multiple amenity areas for residents, in addition to the private open space area provided for each unit in the form of balconies.

Parking for the mixed-use project is designed with two levels of subterranean parking and one level at grade, providing a total of 64 parking spaces within the structure. Of the 64 parking spaces within the garage, 28 spaces are tandem spaces and would be assigned to the two-bedroom units. Access to the parking garage would be via the existing alley off Clementine Street, on the south side of the project site. The project proposes to close the curb cut on Pier View Way to create four new angled parking stalls. There will be a total of 10 parking spaces available for commercial guests along Pier View Way and Clementine Street.

The commercial space on the ground floor includes entrances on both Pier View Way and Clementine Street and has been flexibly designed to accommodate restaurant, retail, and/or office uses. The commercial space extends to the adjacent streets and utilizes glass storefronts and high ceiling plates. There is a pedestrian plaza oriented along Pier View Way to help activate the street scene and invite people into the commercial spaces. Additional landscaping softens the massing of the north facing elevation of the building and bicycle racks are proposed along Pier View Way and Clementine Street. These elements enhance the streetscape and create an inviting pedestrian experience.

The project proposes to add three 48" box canopy trees and landscaping groundcover to the parkway along Clementine Street. Three 24" box trees and raised planters with vertical shrubs will be installed along the commercial frontage facing Pier View Way to help soften the building mass and provide structural relief. Additional trees and drought tolerant landscaping will be planted in portable planters on the second-floor terrace and rooftop deck. Raised planters that treat stormwater runoff from the building roof double as a design element with vertical shrubs able to withstand basin conditions.

A "Mixed-Use Development Plan" is required for any proposal to establish commercial and residential together as a single project. The subject development plan has been prepared pursuant to Articles 12, 31, and 43 of the Oceanside Zoning Ordinance for the Downtown Area. The project is reserving seven of the 64 units as low-income restricted apartments and is therefore entitled to a number of waivers from required development standards per Density Bonus Law. These waivers are highlighted in the following section.

Density Bonus (DB22-00002) per State Law represents a request for the following:

To allow a residential development that would provide seven units or 10% of the total apartment unit count for low-income qualifying households. The City does not currently have a maximum density established for the subject property, so the application, which proposes a density of 210 dwelling units/acre, is allowed under current zoning regulations and the applicant does not need to request additional density as part of the application.

The seven affordable units would be proportional to the market rate rentals provided in the unit mix and would be dispersed throughout the project. The units would be reserved for low income households, per State Density Bonus Law.

State law entitles projects to certain incentives or concessions and also provides for waivers from development standards that would physically preclude the project at the density proposed. The granting of waivers does not reduce the number of incentives allowed on a project, and the number of waivers that may be requested and granted is not limited. State Law prohibits the City from denying any requested incentives/concessions or waivers unless findings are made that the incentives/concessions or waivers would have a *“Specific Adverse Impact,”* which is defined as *“a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.”* State law further establishes that *“inconsistency with zoning ordinance or general plan land use designation shall not constitute a specific, adverse impact on public health or safety,”*.

By reserving 10% of total units for low-income households, this project is entitled to one incentive/concession, as outlined below:

Incentive/Concession No. 1: A request to eliminate the requirement to underground utility poles and electric lines along adjacent public streets or pay a fee in-lieu of undergrounding.

The applicant has provided “reasonable documentation,” in the form of a project pro-forma, that shows the requested concession results in identifiable and significant cost reductions. The proforma has been included as Attachment 3 for reference.

In order to accommodate the proposed density and provide 64 residential units, the project cannot physically comply with all applicable development standards. The applicant has thus requested waivers from the following development standards pursuant to Density Bonus law:

1. Maximum building height
2. Minimum setbacks
3. Minimum parking stall width next to columns
4. Minimum parking stall dimensions Minimum garage drive aisle width
5. Minimum landscaping
6. Minimum private open space

The project's density bonus addendum, included within the Description and Justification (Attachment 1), explains why the project cannot physically comply with the above-mentioned development standards.

The following table is provided to illustrate the development standards applicable to the project and to identify the standards proposed to be waived as a part of the Density Bonus application:

Table 2: 901 Pier View Development Standards

Development Standard	Current Zoning (D-2) Standard	Project as Proposed	Notes
Maximum Density	No Density Cap per Zoning Section 1232 (D) (2)	210 DU/Acre	Complies with code as there is no maximum density for D-2 District.
Minimum Lot Area	5,000 sf	13,500 sf	Complies with code
Minimum Lot Width	50'	120'	Complies with code
Minimum Setbacks			
Front	10'	1'	Waiver
Side	10'	2'	Waiver
Corner Side	10'	1'	Waiver
Rear	5'	1'	Waiver
Maximum Height	90' with a CUP	80' Top of Roof/ 94' Top of Elevator Penthouse	Waiver
Minimum Site Landscaping	20%	6.2%	Waiver
Total Open Space			
Open Space per unit	200 sf/unit	146 sf/unit	Waiver
Private Outdoor Living Space	48 sf/unit	35 sf/unit	Waiver
Shared Open Space	N/A	9,403 sf	Complies with code
Required Façade modulation	25% of front and side elevation horizontal and/or vertical must be set back at least 5 ft from setback line	66% of the building is set back 5' or more from Pier View Way 71% of the building is setback 5' or more from Clementine Street	Complies with code
Underground Utilities	All existing and new utility lines shall be installed	No undergrounding is proposed	Incentive/Concession

	underground within the site and along the site's frontage in the public right-of-way		
Renewable Energy	Residential Projects with 25 or more units shall install and maintain renewable energy facilities that supply at least 50% of forecasted electricity demand	Project will purchase renewable energy portfolio pursuant to Section 3047.	Complies with code provisions of Section 3047
EV Parking	15% of parking spaces	15% of parking spaces	Complies with code provisions of Section 3048
Urban Forestry Program	Tree canopy: 7% Permeable surface area: 10%	Tree canopy: 9.5% Permeable Surface Area: 16.5%	Project satisfies requirements by planting street trees in adjacent parkways. Complies with code provisions of Section 3049
Garage Drive Aisle	24'	20'	Waiver
Parking Stall Offset	12" offset from walls or columns	6"	Waiver
Required Parking	55 spaces for residential use 9 spaces for commercial use	64 garage spaces 10 on-street*	Complies with code. The project receives a 25% reduction in required parking because it is located in a TOD area.

**Within the Transit Overlay District (TOD) the number of on-street parking spaces available on the contiguous street frontage of the site may be counted towards the total number of parking spaces required.*

ANALYSIS

KEY PLANNING ISSUES

1. GENERAL PLAN CONFORMANCE

The General Plan Land Use Map designation for the subject property is Downtown (D). The proposed project is consistent with this land use designation and the policies of the City's General Plan as follows:

A. Land Use Element

Goal 1.12 Land Use Compatibility

Objective: To minimize conflicts with adjacent or related uses.

Policy B: The use of land shall not create negative visual impacts to surrounding land uses.

The project site is located in close proximity (0.5 miles) to the North County Transit District Transit Center and is within the Oceanside Transit Overlay District. The vertical mixed-use building is consistent with the pattern of redevelopment in the downtown area. In keeping with smart growth principles, the current trend of redevelopment in Oceanside is to bring forward high density vertically-oriented mixed-use development in order to accommodate the City's regional fair share of housing growth, support commercial establishments in the downtown area, enhance walkability, and support transit service. The project would include a modern style of architecture with quality materials and design in keeping with the vast variety of architectural designs in the surrounding downtown area. The project is in a highly urbanized area consisting of commercial and civic type land uses. The project, as designed and sited, would be consistent with the surrounding built environment and would enhance the area by activating the streetscape with a pedestrian plaza and street-facing commercial areas.

Goal 1.16: Housing

Objective: To ensure that decent, safe and sanitary housing is available to all current and future residents of the community at a cost that is within the reach of the diverse economic segments of Oceanside.

Policy A: The City shall strive to maintain a reasonable balance between rental and ownership housing opportunities, between senior and family housing, and encourage a variety of individual choices of tenure, type and location of housing throughout Oceanside.

The proposed project, which includes 64 rental apartments, would add to the variety of existing housing types available within the area, which includes single and multi-family units.

The Regional Housing Needs Assessment (RHNA) for the Sixth Housing Element Cycle (2021-2029) estimates that the City of Oceanside will experience demand for 5,443 new dwelling units, including 718 low income units, over the next eight years. By contributing 64 rental dwelling units, including seven reserved for low income households, to the City's existing housing stock, the proposed project would help to meet the City's projected housing demand.

Policy E: The City shall protect, encourage, and where feasible, provide housing opportunities for persons of low and moderate income.

The proposed project is requesting density bonus by reserving 10% of the total number of units (seven units) for low-income tenants. By providing affordable units, the project would offer housing opportunities in an area otherwise unattainable for lower income households.

Goal 1.23 Architecture

Objective: The architectural quality of all proposed projects shall enhance neighborhood and community values and City image.

Policy A: Architectural form, treatment, and materials shall serve to significantly improve on the visual image of the surrounding neighborhood.

Policy B: Structures shall work in harmony with landscaping and adjacent urban and/or topographic form to create an attractive line, dimension, scale, and/or pattern.

The proposed project is a contemporary version of mid-century modern and will provide architectural interest by incorporating materials such as stone, decorative metal, and breeze block into the overall design of the building. The building exhibits clean lines and a symmetrical arrangement of architectural elements. A central terrace provides horizontal articulation and reduces massing impacts on Clementine Street. Landscaping that includes a variety of canopy trees and drought tolerant shrubs and groundcover that reduce massing impacts on Pier View Way.

2. SUBDIVISION ORDINANCE COMPLIANCE

The proposed project is subject to Article IX of the Oceanside Subdivision Ordinance, which requires undergrounding of overhead power lines as a part of the street frontage improvements for the project. However, the project is requesting a concession from this requirement pursuant to Density Bonus Law provisions.

3. ZONING ORDINANCE COMPLIANCE

The proposed project is subject to the Downtown District land use and development standards within Article 12 of the Zoning Ordinance. The project site is located within Downtown Subdistrict 2, which provides for residential uses as part of mixed-use development projects. With respect to development standards, the proposed project complies with the requirements of Downtown Subdistrict 2, except where the applicant is seeking waivers consistent with State Density Bonus Law, as previously highlighted in Table 2 of this report.

As previously noted, parking for the mixed-use project includes a total of 64 parking spaces within the garage structure and ten on-street spaces (seven along Pier View Way and three along Clementine). In accordance with Article 12, Section 1232 W.5. of the Zoning Ordinance for the Downtown district, mixed-use development projects within the downtown TOD area may receive a parking requirement reduction of up to 25 percent. Additionally, within the TOD area east of the railway corridor, the number of on-street parking spaces available on the contiguous street frontage of the site may be counted towards the total number of parking spaces required for a mixed-use development plan. This project utilizes both the TOD reduction and on-street parking spaces to satisfy its parking requirements.

Environmental Review

Pursuant to the California Environmental Quality Act (CEQA), staff finds that the proposed project is categorically exempt pursuant to Article 19 Categorical Exemptions, Section 15332

“In-fill Development Projects” of the California Environmental Quality Act. The site is located in an urbanized area, and would not result in any significant environmental effects.

Recommendation

Staff recommends that the Downtown Advisory Committee (DAC) recommend to the Community Development Commission (CDC) approval of the Parcel Map, Development Plan and Density Bonus request for the construction of a seven-story mixed-use building consisting of 64 residential units, including seven low-income deed restricts unit, at 901 Pier View Way.

Attachments:

1. Description and Justification Letter
2. Project Plans
3. Project Pro Forma
4. Community Outreach Report

901 Pier View Way Description & Justification

Mixed-Use Development Plan, Density Bonus, and Parcel Map

Project Setting and Overview

901 Pier View is a mixed-use development¹ project comprising sixty-four (64) residential units above 2,474 sq. ft. of ground-floor commercial space at the southeast corner of Pier View Way and Clementine Street. The project includes market rate and low-income rental housing, publicly accessible open spaces, activated streetscapes, enclosed parking, drought tolerant landscaping, and a host of amenities, all within an energy efficient building.

The entitlement application is for a Mixed-use Development Plan with a Density Bonus and a Parcel Map. The General Plan designation for the site is *Downtown* and a zoning designation of *Downtown - Subdistrict 2*, which allows mixed-use development. The project will also include a Parcel Map requesting four or fewer condominiums to separate ownership of the residential and commercial components of the project into respective legal parcels.

The site consists of one parcel of approximately 13,249 sq. ft. located at the southeast corner of Pier View Way and Clementine Street with APN 147-195-03-00. The site is currently improved with two residential structures. Existing uses in the vicinity include civic facilities, commercial offices, retail, and a mixture of single-family and multifamily residential units.

Mixed Use Development Plan

The Development Plan includes demolition of the existing improvements and construction of a seven-story, vertically mixed-use building. The project is designed to provide a vibrant mix of uses with commercial spaces anchoring the building at the ground level and rental housing above.

The residential component will be comprised of stacked flats with an average unit size of 780 sqft. The building includes a courtyard/viewing lounge at the podium level, a rooftop deck, and multiple internal amenity spaces. Access to the residential floors (levels 2-7) is from an elevator bank and two stairwells. A summary of the floor plan mix for the residential units is listed in Table 1.

Table 1

Plan Type	Sq. Ft.	Bedrooms	Baths	Units
Studio	440-520	0	1	6
1-bedroom	630-850	1	1	40
2-bedroom	950-1175	2	2	18
Total				64

¹ Consistent with density bonus law, and the City's interpretation of the same, the project does not require a conditional use permit to include residential uses as part of the mixed-use development.

The ground level space will be enclosed within a space ranging in height from 12' to 16' within a concrete structure with approximately 1,334 sf of residential leasing and lobby space oriented along Pier View Way and approximately 2,474 sf of commercial space fronting both Pier View Way and Clementine Street. The commercial space has been flexibly designed to accommodate restaurant, retail, and/or office uses. The ground floor also includes a public plaza oriented along Pier View Way, designed as a public amenity for both visitors and patrons alike.

Primary site access, including entry to the parking garage, will be from the existing alley off Clementine Street. There is one entry to the grade-level garage and a second entry to the below-grade parking. Both entry points will be gated with the at-grade garage open during business hours and the below-grade garage secured but for resident vehicle access. The existing curb cut on Pier View Drive will be closed and replaced with four new street parking stalls.

Due to its proximity to the Oceanside Transit Center (<.5 mi), the project is located within the *Downtown Transit Oriented District (TOD)*, providing multi-modal and multi-directional mass transit. Additionally, high-frequency bus service is located on portions of Pier View Way connecting with Mission Avenue to enable residents and patron's additional options for public transportation. Our proximity to transit, along with the availability of bicycle storage on site, support *alternative transit options* and allows movement throughout the region without primary reliance on personal vehicles. Because our site is in the *TOD area and provides variable mixed-use parking and alternative transit options*, the project is eligible for parking incentives.

The property will provide a total of 74 stalls, of which 64 stalls are within the garage. The lower garage levels provide 52 stalls of which 35 are standard sized stalls (8'-6" x 18') and 17 are compact sized stalls (8' x 18' and 8'6"x15'). Additionally, one (1) ADA parking stall shall be assigned within the lower garage. The grade-level garage provides 12 stalls to include 11 residential stalls and 1 commercial stall. Of the 12 grade-level stalls, 9 are standard size, 2 are compact size, and one is designated ADA. The design of the grade-level garage supports building operations such as recycling and trash removal. Resident parking will be managed by on-site property management with tandem stalls assigned to two-bedroom units.

Because the site is within the Downtown TOD area, on-street parking along the street frontage may be included as eligible parking for the project's non-residential commercial uses. Currently, there are six stalls located on the property's street frontage - three angled spaces exist along Pier View Way and three parallel stalls exist on Clementine. The project proposes to fill in the existing property curb cut on Pier View Way and replace this section with four angled stalls. In sum, the project will increase the number of street stalls from 6 stalls to 10 stalls.

There are five bicycle racks supporting 30 bicycle parking spaces at grade level at the corner of Clementine and Pier View Way, plus 50 vertical bicycle racks for resident and employee use within the lower-level parking garage. The visitor bicycle parking at the corner of Clementine and Pier View near the main entrance is strategically located to further encourage the use of alternative transportation.

See Appendix Exhibit A: Development Standards Comparison

See Appendix Exhibit B: City's parking regulations Comparison to Project's Parking Plan

Building Architecture

The building's architecture and aesthetics complement the downtown district's prominent architecture in a contemporary version of mid-century modern. The architecture is notable for its clean lines, mating of indoor and outdoor spaces, natural materials, natural color tones, large windows, open floor plans, and extensive landscaping.

Project Amenities

The project includes amenities for the convenience and leisure of residents in both indoor and outdoor spaces. Interior amenity spaces include work-from-home options, community Wi-Fi, a fitness center, an indoor/outdoor social lounge, a mezzanine viewing deck, a rooftop viewing deck, e-bike charging, surfboard storage, and wash stations.

The leasing office, which includes a mail and package center, will be staffed during business hours. Elevators are located near the designated move-in area to provide easy access to the residential levels. A separate area for bicycle storage is included near the garage. Additionally, showers and washing equipment shall be available to residents to wash bikes and beach equipment.

Landscape Design

The landscape is designed to ground the project with the public pedestrian and bike access along Pier View Way, and to enhance the streetscapes along both Pier View and Clementine Street. A plaza along Pier View Way will be open to the public and shall be made available to commercial tenants and patrons. Other onsite areas are designed to provide for passive recreational amenities and outdoor living areas for future residents, including seating areas and landscape features in the courtyards for sheltered outdoor space. The design expands on the architectural style with the use of a lush yet drought tolerant palette that uses color, texture, and form to complement and enhance the buildings architecture.

Stormwater Management

Storm water runoff from the roof drains to multiple lined biofiltration planter basins located on the second floor and ground level for pollutant control. The flow will then discharge to Clementine Street and Pier View Way via curb outlets and into the storm drain system. Runoff from the exposed second floor and roof will drain to a single lined biofiltration basin located adjacent to Clementine Street. The flow will then discharge to Clementine Street via curb outlets and into the storm drain system. The project is exempt from hydromodification requirements.

Open Space

Open space for the community includes private outdoor living space on balconies, patios, and roof decks. These spaces total 9,403 sf equaling 146 sf/unit.

CEQA

The proposed project meets the following criteria for a CEQA 32 Infill exemption¹:

- Is consistent with applicable General Plan policies and zoning regulations
- Is located within city limits on a site not larger than five acres
- The site has no value as habitat for special-status species
- The project does not cause significant impacts related to air quality, noise, traffic, or water quality
- The site is adequately served by utilities and public services

1. Per Resolution No 20-R0032-3, the site was previously designated a Class 32 Infill Exemption site on January 22, 2020.

Affordable Housing, Density Bonus and Waivers and Incentives

The State of California's Density Bonus Law (Government Code §65915-65918) was established to promote the construction of affordable housing units and allows projects to exceed the maximum designated density and to use development standard waivers, or incentives and concessions, in exchange for providing affordable housing units in compliance with all current density bonus regulations. The City of Oceanside zoning regulations implement the state requirements, although the Downtown Zoning Ordinance removes density limits for all mixed-use projects in the downtown zone.

The 901 Pier View project comprises 64 apartment homes of which seven units shall be deed-restricted at the Low-Income level. As calculated, the project complies with both the City's *Inclusionary Housing Ordinance* and meets the provisions of *Density Bonus Law* regarding affordable housing. Affordable units shall be proportional to the overall project in unit size, dispersed throughout the project, and have access to all amenities available to market rate units.

Two detached homes exist on the site, which are currently rented at market rents above the *moderate rent level*¹.

¹ Moderate rent level is defined in Section 50093 of the Oceanside Health and Safety Code and all subsequent amendments or revisions.

Incentives and Waivers

State Density Bonus Law entitles the project to certain incentives and unlimited waivers. By providing 10% low-income units, this project is entitled to one incentive/concession.

The project proposes an incentive to eliminate the requirements to underground utility/electric lines along adjacent public streets.

Density Bonus Law also provides for waivers. The granting of waivers does not reduce the number of incentives allowed on a project, and the number of waivers that may be requested and granted is not limited.

To accommodate the project as proposed, and as allowed under Density Bonus Law, the project cannot physically comply, strictly, with all development standards. To accommodate the project's affordable units, the project seeks the following waivers for the reasons stated.

- Building Height. The proposed building roofline is at approximately 80' with an elevator projecting to 94'. Should the applicant apply the 65' base height the project could not be physically built to support the density bonus affordable units.
- Setback: Per the City's Chapter 12.32 zoning code, "D District Property Regulations" downtown projects require 10' setbacks. The property's dimensions are 130' length and 100' width for approximately 13,000 sqft surface area. When applying the 10' setback requirement, the length is reduced to 110' and the width is reduced to 90' for a buildable surface area of 9,900 sqft. This equates to a 23.8% reduction in buildable area and would physically preclude the construction of the project.
- Garage Drive Aisle Width and Parking Stall Offset: Similar to the setback waiver, given the geometry of the site, the project could not be physically constructed strictly with the City's development standards and provide the requisite parking spaces for the project. Thus, the applicant is utilizing a waiver to reduce the standard 24' drive aisle to 20', reduce the 12" offset from internal structural columns to 6" and allow for a small portion of the required parking stalls to be compact spaces.
- Open Space: 200 sq. ft. per unit total open space required inclusive of 48 sq. ft. minimum of private open space per residential unit. The applicant has provided approximately 146 sq. ft. of open space per unit. The project could not physically be constructed with additional open space incorporated.
- Landscaping Minimums: the current zoning standard requires a 20% blended percentage of the site's surface area to be landscaped or approximately 2,600 sqft. The applicant is able to provide approximately 6.2% landscaping into the project. Additional landscape would physically preclude construction the project.

SUMMARY

The 901 Pier View project would transform an underutilized property into a modern mixed-use structure that increases the supply of housing to meet the needs of residents across the economic spectrum adds Class-A commercial space to activate Pier View Way and provides for open spaces for the public's benefit. Also, this is one of the first projects within the TOD area. 901 Pier View will demonstrate environmental leadership through its energy efficiency, consistency with the

climate action plan, reduction of vehicle miles travelled, increasing opportunities for walking/biking, and integrating public transit.

FINDINGS

REQUIRED FOR MIXED-USE DEVELOPMENT PLAN

The City of Oceanside Downtown Zoning Ordinance stipulates that the following be shown for a Mixed-Use Development Plan:

1. That the total number of dwelling units in the Downtown District shall not exceed 5,500 (or any future limit established by the City's General Plan).

In August 2019, City staff estimated approximately 2,300 residential units existed in the Downtown District. The 64 dwelling units proposed for the 901 Pier View project is approximately 1.4% of the remaining units and will not cause the total number of dwelling units in the Downtown District to exceed 5,500.

2. That the Mixed-Use Development Plan will enhance the potential for superior urban design in comparison with development under the regulations that exist if the Development Plan were not approved;

The 901 Pier View Mixed-use Development Plan will provide a pedestrian-oriented, energy efficient, mixed-use development project within the downtown TOD that provides housing options across the economic spectrum. The project's commercial façade promotes flexible-use spaces, with ground floor pedestrian orientation enhanced with native vegetation both at the street level on Clementine and at the street and plaza level on Pier View Way. Parking is primarily located within a subterranean garage and a ground level parking that is screened from public view. The Mixed-Use Development Plan elements will contribute to the ongoing transformation of the urban core.

3. That the Mixed-Use Development Plan is consistent with the adopted Land Use Element of the Redevelopment Plan and other applicable policies, and that is compatible with development in the area it will directly affect;

The project provides mixture of commercial and residential uses consistent with the approved uses and purposes within the Redevelopment Plan. Additionally, the project furthers many of the most prominent land use policies as stated in the City's Land Use Element to include i.) the inclusion of Low-Income affordable units (par 1.16), ii.) provides natural circulation of breezes, PV solar capture, and expansive views (Par 1.2), iii.) drought tolerant, native vegetation acting as a softening layer between the building and its surrounding environment (Par 1.22), iv.) and architecture that is consistent with its surrounding uses and enhances the built environment in the community (Par 1.23).

4. That the Mixed-Use Development Plan includes adequate provisions for utilities, services, and emergency access, and public service demands will not exceed the capacity of existing systems;

The area covered by the Mixed-Use Development Plan is in a downtown infill location and can be adequately and conveniently served by existing and planned public services, utilities, and public facilities. All water, wastewater, and electrical services are available within the surrounding developed public roadway systems and within existing public utility easements.

5. That the traffic expected to be generated by development in accord with the Mixed-Use Development Plan will not exceed the capacity of affected streets;

The 901 Pier View mixed-use project shall not generate more traffic than has been planned for the area. Residents and employees shall have alternative transportation options (bike, bus, ride-share) and the project also utilizes variable parking to provide smart parking options for its mix of uses.

6. That the Mixed-Use Development Plan will not significantly increase shading of adjacent land in comparison with shading from development under regulations that would exist if the Mixed-Use Development Plan were not approved.

Shading on adjacent lots is minimal except in the winter when shadows fall on the commercial space to the north and the parking lot across the street to the east. Shading on these sites would also occur to some extent under standard height allowances. No existing residences are impacted by shading.

7. That the benefits derived from the Mixed-Use Development Plan include but are not limited to traffic capture and pedestrian activity, by way of "active" street frontages and provision of flexible nonresidential use spaces at street level, where appropriate.

The Mixed-Use Development Plan incorporates design features to provide flexible, ground-level spaces available for residential and commercial uses, including building design along Pier View to encourage bicycle parking at the ground level. Additionally, the elimination of the curb cut on Pier View Drive reduces the potential car-pedestrian conflicts on Pier View Way. The project also promotes use of the alley as the entrance for all off-street parking for the Project.

Exhibit A provides a summary of the regulations and where the proposed mixed-use standard deviates from the base development regulations, a summary of the reason for each proposed modification is noted.

901 Pier View Drive Development Standards/Regulations Comparison between Mixed Use Development Plan, Standard Requirements, and Project				
Regulation	Mixed Use Plan Requirement	Project as Proposed	Current Zoning Requirements	Notes
<i>Note: All references to Sections or Articles are from the City of Oceanside Zoning Ordinance, as applicable within the D District.</i>				
Maximum Potential Density	No density cap downtown per Zoning Section 1232 (D) (2)	Maximum density limits and floor area ratio regulations are not <u>applicable</u> to the residential component of a mixed-use development, as approved by City Council on Aug. 21, 2019 under Resolution 19-R0562-1. The project is proposing 210 dwelling units per acre.	No density cap downtown per Zoning Section 1232 (D) (2)	Complies with code. Consistent with the City's Density Bonus Ordinance (3032), 10% of the project's units shall be reserved for households at the "low-income" level as defined in the city's ordinance.
Minimum Lot Area	5,000 sq. ft.	13,500	5,000 sq. ft.	Complies with code
Minimum Lot Width	50'	~ 120'	50'	Complies with code
Setbacks:				
Front	0 feet	1 ft	10' (residential) 10' (non-residential) Amended under Mixed Use Development Standards and	Waiver to accommodate affordable units

			with Waiver under density bonus to accommodate development at density proposed.	
Side/Corner Side	0 feet	2 ft for interior side and 1 ft for exterior side	10' (residential lots over 75' ft. wide) 0 feet side / 10' corner side (non-residential) Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Rear	0 feet	1 ft	5' (residential) 0 feet (non-residential) Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Maximum Height:				
Maximum Height of Structures	65' 90' feet with a Conditional Use Permit	80' top of roof	65 feet 90 feet with a CUP With waiver to accommodate development at density proposed and CUP not	Waiver to accommodate affordable unit

			required for density bonus project	
Maximum Height of Elements allowed to exceed maximum	10 feet above applicable base zoning limit per Section 3018	94' top of elevator to accommodate required elevator hoist beam	10 feet above applicable base zoning limit per Section 3018	Waiver to accommodate affordable unit
Minimum Site Landscaping	0%	820 SF = 6.2%	20% minimum blended residential and commercial ratio. Amended under Mixed Use Development Standards and with Waiver under density bonus to accommodate development at density proposed.	Waiver to accommodate affordable unit
Open Space	A minimum of 4,000 square feet of open space (total of indoor and outdoor) shall be provided, with 30 % minimum of the total to be common outdoor open space.	9,403 square feet of total open space including: -945 sq. ft. shared 2nd floor terrace outdoor space -1,515 sq. ft. shared indoor common fitness and social lounge area, - 4,143 sq. ft. roof deck - 591 sq. ft. 1st floor common	200 sq. ft. per unit of total open space inclusive of 48 sq. ft. minimum of private open space per unit (residential) Amended under Mixed Use Development Standards and with waiver under density bonus to accommodate	Waiver to accommodate affordable unit

		<p>patio area, and -2,209 sq. ft. private outdoor space on balconies.</p> <p>This equals <u>146 sq. ft. total per unit.</u></p>	<p>development at density proposed.</p>	
Courts Required	Courts opposite windows are required for all multifamily development in accordance with regulation (EE) of Section 1232	Courts meet minimum current code size requirements. No change per typical standard.	See Section 1232 (EE) (residential) No courts required (non-residential)	Complies with code
Required Façade Modulation	Minimum 35% total over all front and side street elevations (not incl. alleys), with a minimum of 8% on any one façade facing a public street, must be set back at least 5 feet from setback line.	<p>66% of the building is setback 5' or greater from Pier View Way.</p> <p>71% of the building is setback 5' or greater from Clementine.</p>	<p>25% of front and side street elevation horizontal and/or vertical must be set back at least 5 feet from setback line (residential)</p> <p>No modulation required (non-residential)</p>	Complies with code
Screening of Mechanical Equipment	See Section 3021	Meets standard requirements	See Section 3021	Complies with code

Underground Utilities	Section 3023	No undergrounding of utilities lines proposed.	Section 3023	Incentive to accommodate affordable unit
Renewable Energy Facilities	Section 3047	Project meets requirements with purchase of renewable energy portfolio as providing 50% onsite renewable energy is not feasible.	Section 3047	Complies with code
Electric Vehicle Parking and Charging Facilities	Section 3048	Meets standard requirements	Section 3048	Complies with code
Urban Forestry Program	Section 3049	Project meets minimum tree canopy area using alternative to include street trees in adjacent public parkway. Total area is 1,261 SF or 9.5%. City requirement is 7%. Project meets minimum permeable surface with landscape parkway, with credits applied from coverage of tree canopy. Total area is 2,187 SF or 16.5%. City requirement is 10%	Section 3049	Complies with code

Exhibit B provides a summary of the City's parking regulations and the composition of the project's parking plan.

Off Street Parking with Density Bonus				
Description	Mixed Use Plan Requirement	Project as Proposed	Current Zoning Requirement	Notes
Parking Stalls Residential	1.5 stalls: 1BR/Studios 2.0 stalls: 2BR Guest: 20%	64 total spaces in garage: 43 standard 19 compact 2 ADA (Note: 28 total spaces are tandem) 7 spaces on Pier View on contiguous street frontage. Note: all street spaces shall be available for residential and commercial guest parking.	<u>Per Section 3105 - Reduced Parking Other Uses</u> 1.0 stall: market rate 1BR/Studio 1.5 stall: market rate 2BR 0.5 stall: inclusionary studio 1 stall: inclusionary 1 BR 1.25 stall: per inclusionary 2 BR Visitor = No Additional Parking Required <u>Required Residential Parking</u> 5 - market rate studio: 5 stalls 1- inclusionary studio: .5 stalls 35 - 1 bedroom: 35 stalls 5- inclusionary 1BR: 5 stalls 17 - market rate 2BR: 25.5 stalls <u>1- inclusionary 2BR: 1.25 stalls</u> Total Required: 73 stalls minus 25% TOD reduce 55 stalls <i>Note: Mixed Use development plans within the downtown TOD may receive a parking reduction of up to 25% based on specific criteria and count the on-street parking spaces available on contiguous street frontage toward the total number of parking spaces required for non-residential uses per Section 1232 (W).</i>	Complies with code

Parking Stalls Non-Residential	Use Table varies per Article 3103	9 commercial spaces provided 3 spaces on Clementine on contiguous street frontage Note: all street spaces shall be available for residential and commercial guest parking.	1 space / 200 sq. ft. retail sales <u>Required Retail Parking</u> 2,474 sq. ft / 200 = 12 stalls TOD reduction = 9 spaces <i>Mixed Use development plans within the downtown TOD may receive a parking reduction of up to 25% based on specific criteria and count the on-street parking spaces available on contiguous street frontage toward the total number of parking spaces required for non-residential uses per Section 1232 (W).</i>	Complies with code
Total Spaces	See section 3103	64 Garage Spaces 7 street spaces (Pier View) <u>3 street spaces (Clementine)</u> 74 total spaces provided	Residential Required = 73 Sp. <u>Commercial Required = 12 Sp.</u> Total 85 Sp. 25% TOD reduction = 64 Sp.	Complies with code
Indoor Bicycle Spaces	None required	50 vertical lockable racks	None required	Complies with code
Public Bicycle Spaces	1 commercial space per 3108	5 public racks for a total of 30 spaces	1 commercial space per 3108	Complies with code
Loading Spaces	None required	None provided	None required	Complies with code

PIER VIEW MIXED-USE



A MIXED USE RE-DEVELOPMENT PROJECT LOCATED AT 901 PIER VIEW WAY - OCEANSIDE - CALIFORNIA
COMPRISED OF 64 RESIDENTIAL UNITS AND STREET LEVEL COMMERCIAL SPACE

RD22-00002
RP22-00001
DB22-00007

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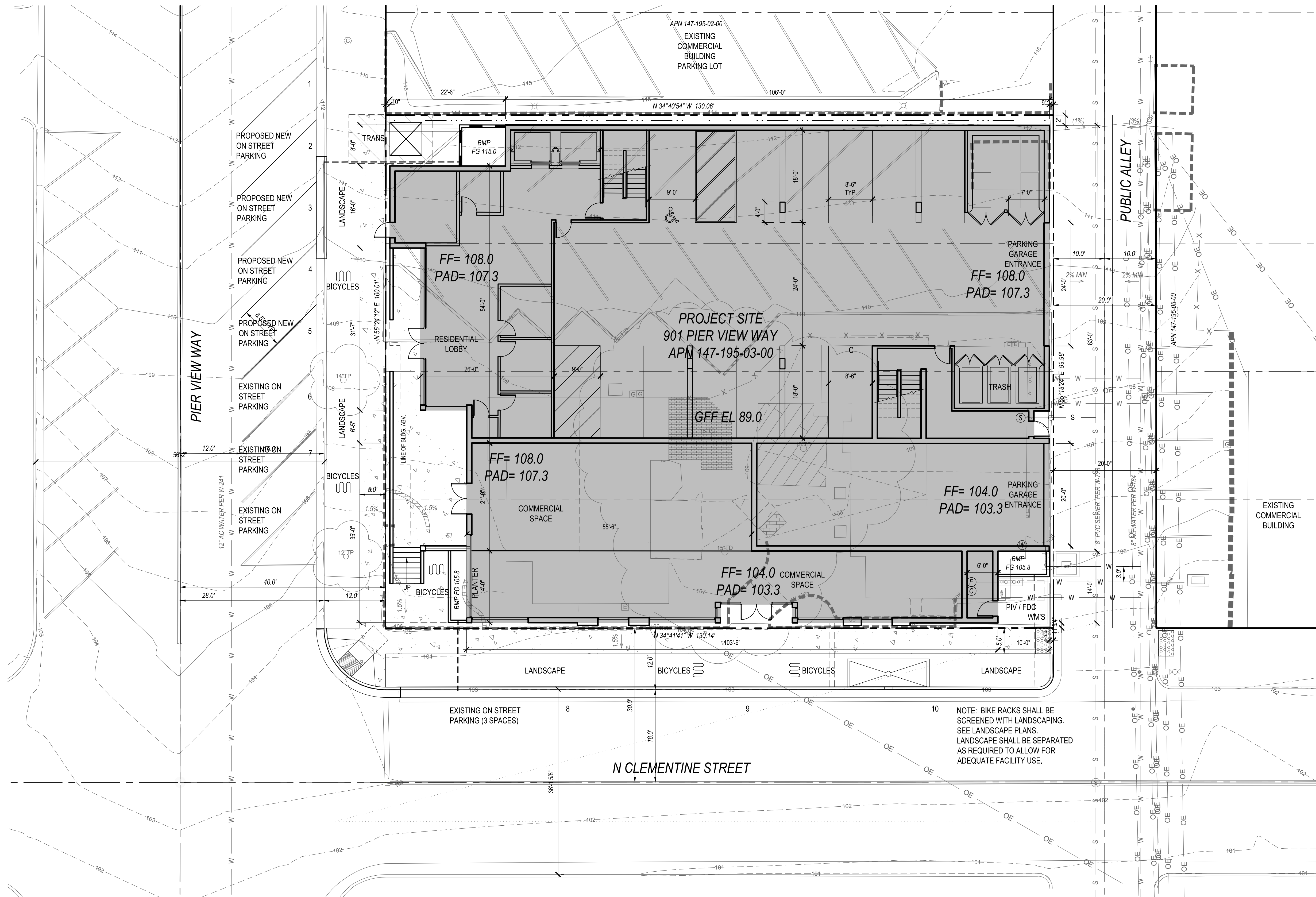
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PIER VIEW MIXED USE
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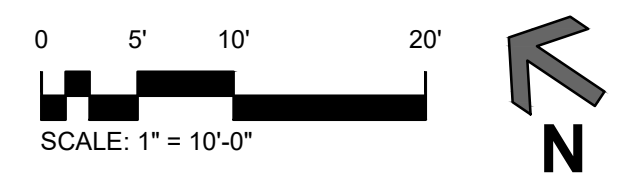
Date:	6-03-22
Project:	901 PIER VIEW
File:	A0.1
Revisions:	
△ PLANNING COMMENTS 1	9-14-22
△ PLAN COMMENTS 2	12-14-22
△ PLAN COMMENTS 3	2-3-22

Sheet Title:
COVER SHEET

Sheet Number:
A0.1



SITE PLAN



PROJECT TEAM		
OWNER:	FIDELIS ADVISORS WILL WINKENHOFER 760-846-4272 will@fidelisadvisors.co	CIVIL ENGINEER: PASCO LARET SUITER & ASSOC. CONTACT: TYLER LAWSON 535 N. HIGHWAY 101 SUITE A SOLANA BEACH, CA 92075 T: 858-259-8212 tlawson@plsaeengineering.com
ARCHITECT:	KIRK MOELLER ARCHITECTS, INC. CONTACT: KIRK MOELLER 2988 LOKER AVENUE EAST, STE. 220 CARLSBAD, CA 92010 T: 760-814-8128 kirk@kmarchitectsinc.com	LANDSCAPE ARCHITECT: DAEDALUS DESIGN GROUP CONTACT: JEFF SMITH 2725 JEFFERSON ST, STE 15B CARLSBAD, CA 92010 T: 760-720-4337 jeff@d4dga.com

LEGAL DESCRIPTION
 LOT 6, 7, 8 AND 9 IN BLOCK 70 OF HORNE'S ADDITION TO THE CITY OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 323, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 3, 1886.

PROJECT SUMMARY	
ASSESSORS PARCEL NUMBER:	147-095-03-00
ADDRESS:	901 PIER VIEW WAY OCEANSIDE, CA 92054
LOCATION DESCRIPTION:	901 PIER VIEW WAY 13,249 SQ. FT. / .30 AC.
GROSS ACREAGE:	T.B.D.
NET ACREAGE:	DOWNTOWN D / SUBDIST. 2
ZONE:	NO
COASTAL ZONE:	NO
GROSS FLOOR AREA:	64,583 SF TOTAL FLOOR 1 RETAIL / LOBBY = 3,808 SF. FLOOR 2 = 10,165 SF FLOORS 3 - 7 = 10,122 EACH FAR = 4.87
LOT COVERAGE RATIO:	11,876 S.F. / 13,249 S.F. = 90%
LANDSCAPE COVERAGE RATIO:	6.2% (820 S.F.)
DWELLING UNIT DENSITY:	64 TOTAL UNITS (7 LOW INCOME) 210 DWELLING UNITS / AC
STORIES:	7 STORIES
TYPE OF CONSTRUCTION:	RESIDENTIAL = TYPE IIIA GARAGE = TYPE IA PODIUM AND TYPE IA BASEMENT
FIRE SPRINKLERS:	YES
FIRE ALARM:	YES
MAXIMUM HEIGHT:	80' TO TOP OF ROOF 94' TOP OF ELEV. PENTHOUSE
PARKING REQUIRED:	5 STUDIO = 5 SP. 1 INC. STUDIOS = 5 SP. 35 ONE BED = 35 SP. 5 INC. ONE BED = 5 SP. 17 TWO BED = 25.5 SP. 1 INC. TWO BED = 1.25 SP. 2,474 S.F. RETAIL @ 1/2000 = 12 SP. TOTAL = 85 SP 85 X 25% TOD = 64 SP. REQ. 1 COMMERCIAL BICYCLE SP. REQUIRED PER 3108
PARKING PROVIDED:	64 TOTAL GARAGE SPACES 7 SPACES ON PIER VIEW 3 SPACES ON CLEMENTINE TOTAL = 74 SPACES 50 VERTICAL LOCKABLE BICYCLE RACKS PROVIDED WITHIN THE PARKING GARAGE. 5 BICYCLE RACKS NEAR BUILDING MAIN ENTRY WITH 30 SPACES TOTAL.
# OF UNITS, # OF BEDROOMS	64 TOTAL UNITS (7 ARE TO BE INCLUSIONARY) 6 STUDIO (1 INCLUSIONARY) 40 ONE BEDROOM (5 INC.) 18 TWO BEDROOM (1 INC.) 2,474 SQ. FT. 50,738 SQ. FT. 7,194 SQ. FT.
RETAIL SPACE AREA	2,474 SQ. FT.
RESIDENTIAL UNIT AREA	50,738 SQ. FT.
COMMON AREA (FITNESS, LOUNGE, TERRACES & ROOF DECK)	7,194 SQ. FT.
PRIVATE RECREATION SPACE	MIN. PER UNIT 48 SF TOTAL PROVIDED = 2,209 SF
TOTAL RECREATION SPACE	9,403 SF / 146 SF PER UNIT
DENSITY BONUS WAIVERS	1. BUILDING HEIGHT 2. PARKING STALL SIZE ADJACENT TO WALLS / COLUMNS 3. COMPACT PARKING STALL COUNT TOWARD REQ. SPACES 4. YARD RESTRICTIONS 5. RESIDENTIAL O.S. REDUCTION 6. DRIVEWAY WIDTH TO 20' 7. MINIMUM SITE LANDSCAPE %
DENSITY BONUS INCENTIVES	1. ELIMINATE ADJACENT UTILITY UNDER GROUNDING



RD22-00002
 RP22-00001
 DB22-00007



KIRK MOELLER ARCHITECTS, INC.
 2888 LOKER AVE. EAST, STE 220
 CARLSBAD, CA 92010
 KIRK@KMARCHITECTSINC.COM
 760-814-8128

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**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

Date:	6-03-22
Project:	901 PIER VIEW
File:	A1.1
Revisions:	
▲ PLANNING COMMENTS 1	9-14-22
▲ PLAN COMMENTS 2	12-14-22
▲ PLAN COMMENTS 3	2-3-22

Sheet Title:
SITE PLAN

Sheet Number:
A1.1



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING EAST. SUBJECT PROPERTY ON RIGHT



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING SOUTHEAST. SUBJECT PROPERTY ON LEFT



VIEW FROM CLEMENTINE ST LOOKING EAST UP ALLEY. SUBJECT PROPERTY ON LEFT



VIEW FROM CLEMENTINE ST LOOKING NORTH EAST AT SUBJECT PROPERTY



VIEW FROM CLEMENTINE ST LOOKING AT ADJACENT PROPERTY TO THE SOUTH



VIEW FROM PIER VIEW WAY LOOKING SOUTH AT SUBJECT PROPERTY



VIEW FROM CLEMENTINE ST LOOKING NORTH FROM SOUTH END OF SUBJECT PROPERTY



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING WEST AT ADJACENT PROPERTY



VIEW FROM CORNER OF PIER VIEW WY AND CLEMENTINE ST LOOKING WEST DOWN PIER VIEW WY

RD22-00002
RP22-00001
DB22-00007



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PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date:	6-03-22
Project:	901 PIER VIEW
File:	A1.2
Revisions:	
▲ PLANNING COMMENTS 1	9-14-22
▲ PLAN COMMENTS 2	12-14-22
▲ PLAN COMMENTS 3	2-3-22

Sheet Title:
SITE PHOTOS

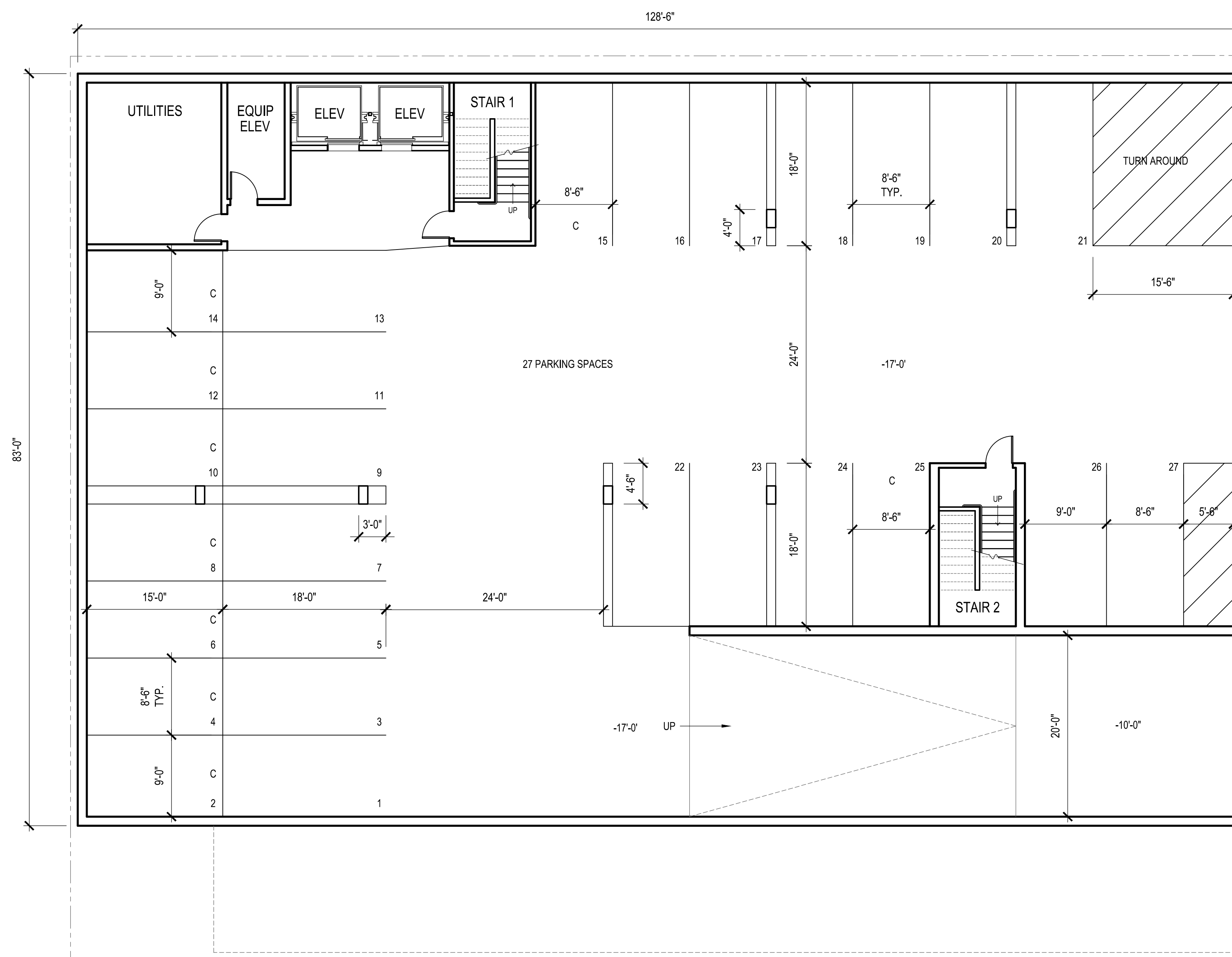
Sheet Number:
A1.2

RD22-00002
 RP22-00001
 DB22-00007



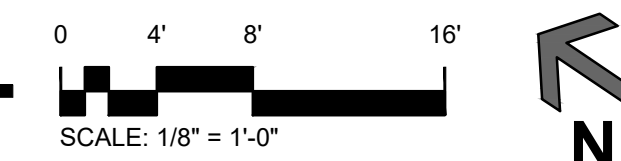
KIRK MOELLER ARCHITECTS, INC.
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**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

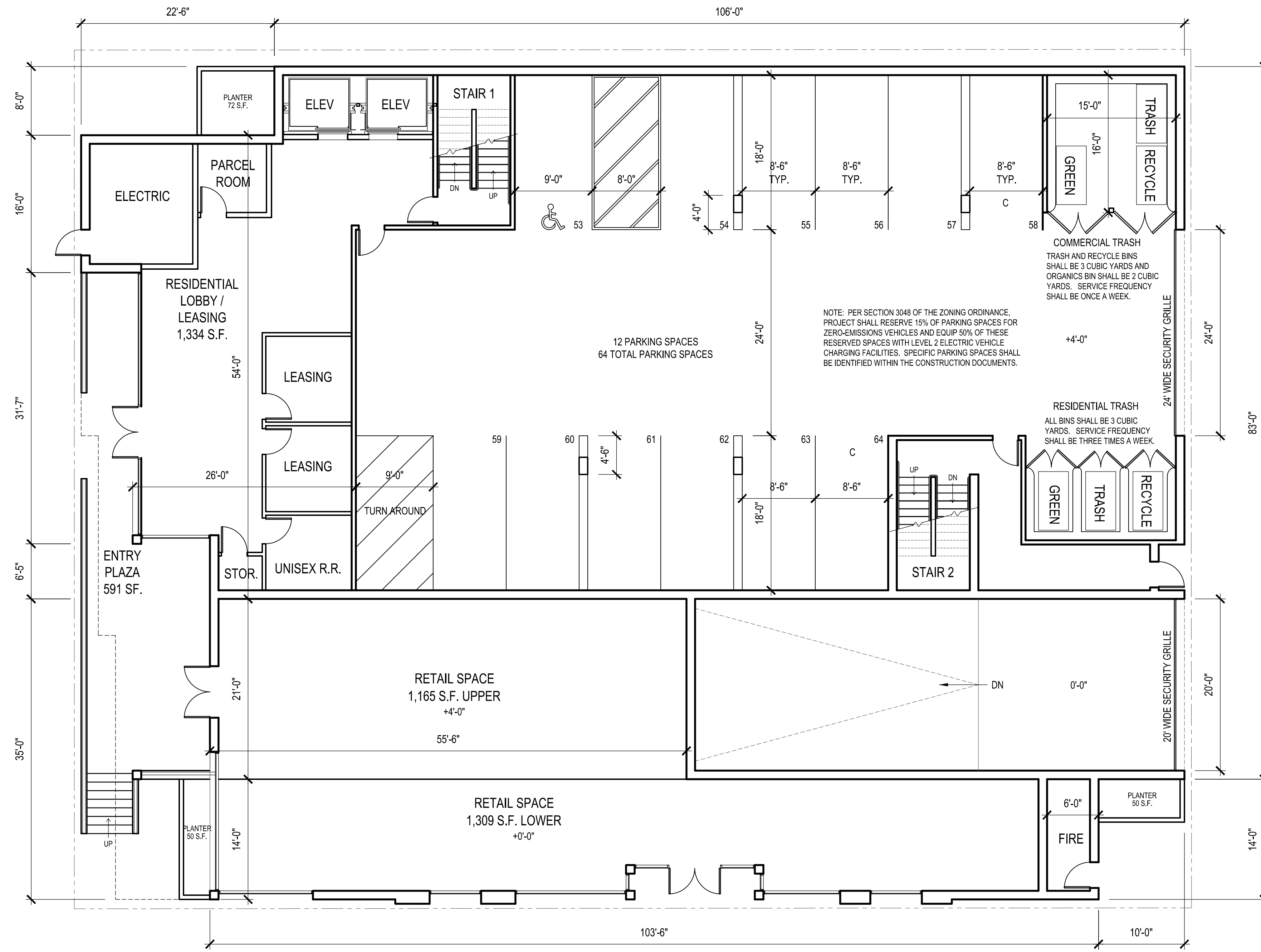
SUB LEVEL 2 PARKING PLAN



Date:	6-03-22
Project:	901 PIER VIEW
File:	A2.1
Revisions:	
△ PLANNING COMMENTS 1	9-14-22
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△ PLAN COMMENTS 3	2-3-22

**SUB LEVEL 2
 PARKING
 PLAN**

Sheet Number:
A2.1

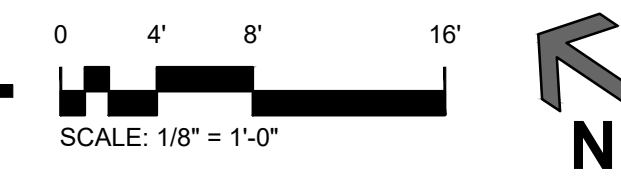


NOTE: PER SECTION 3048 OF THE ZONING ORDINANCE, PROJECT SHALL RESERVE 15% OF PARKING SPACES FOR ZERO-EMISSIONS VEHICLES AND EQUIP 50% OF THESE RESERVED SPACES WITH LEVEL 2 ELECTRIC VEHICLE CHARGING FACILITIES. SPECIFIC PARKING SPACES SHALL BE IDENTIFIED WITHIN THE CONSTRUCTION DOCUMENTS.

COMMERCIAL TRASH TRASH AND RECYCLE BINS SHALL BE 3 CUBIC YARDS AND ORGANICS BIN SHALL BE 2 CUBIC YARDS. SERVICE FREQUENCY SHALL BE ONCE A WEEK.

RESIDENTIAL TRASH ALL BINS SHALL BE 3 CUBIC YARDS. SERVICE FREQUENCY SHALL BE THREE TIMES A WEEK.

FIRST FLOOR PLAN

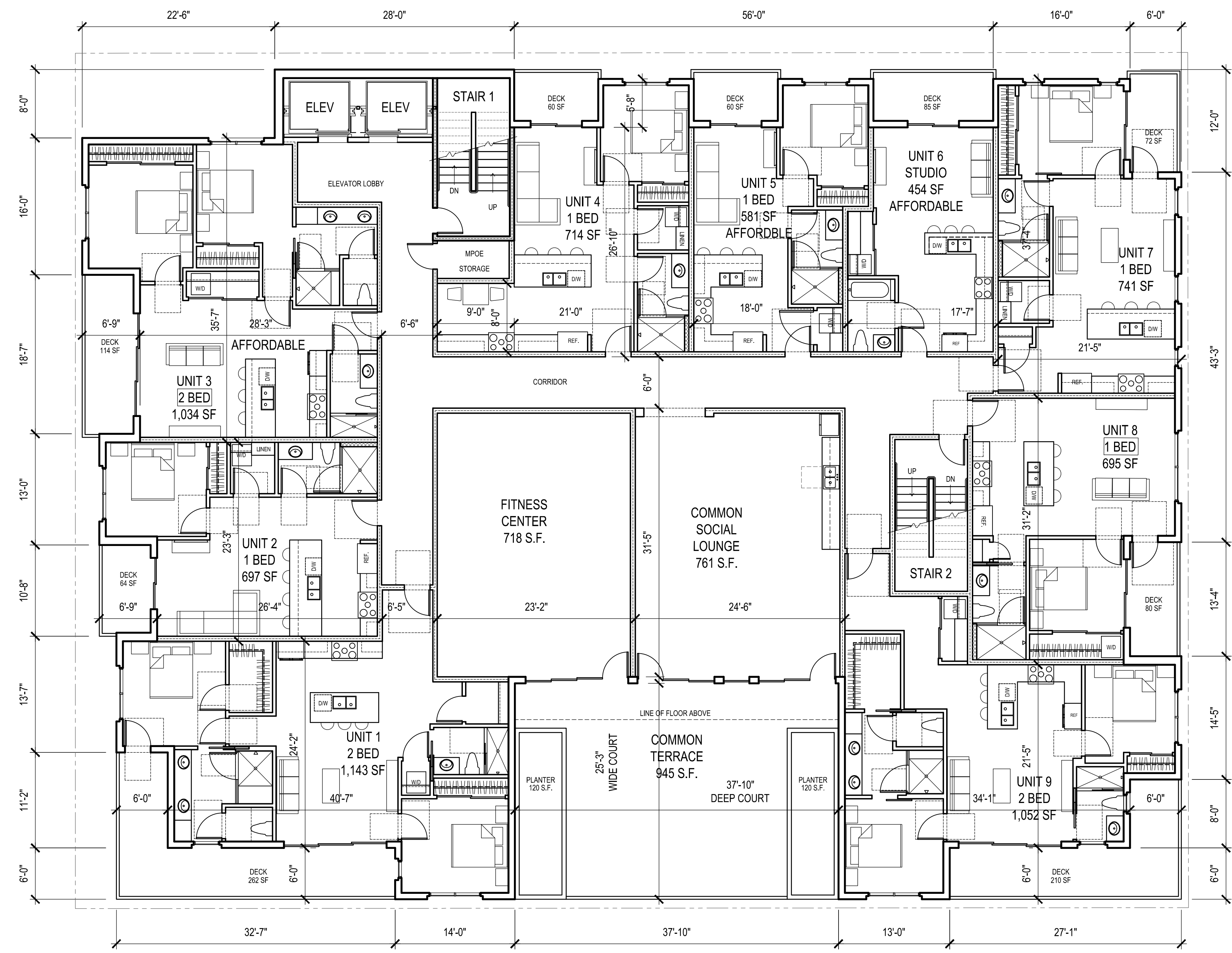


**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

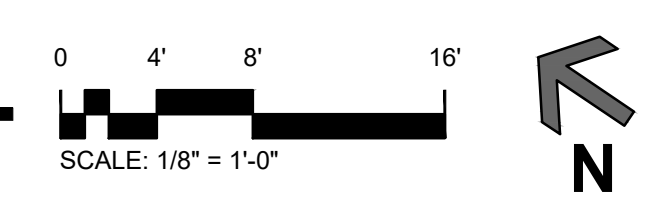
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Project:	901 PIER VIEW
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Revisions:	
▲ PLANNING COMMENTS 1	9-14-22
▲ PLAN COMMENTS 2	12-14-22
▲ PLAN COMMENTS 3	2-3-22

Sheet Title:
FIRST FLOOR PLAN

Sheet Number:
A2.3



SECOND FLOOR PLAN

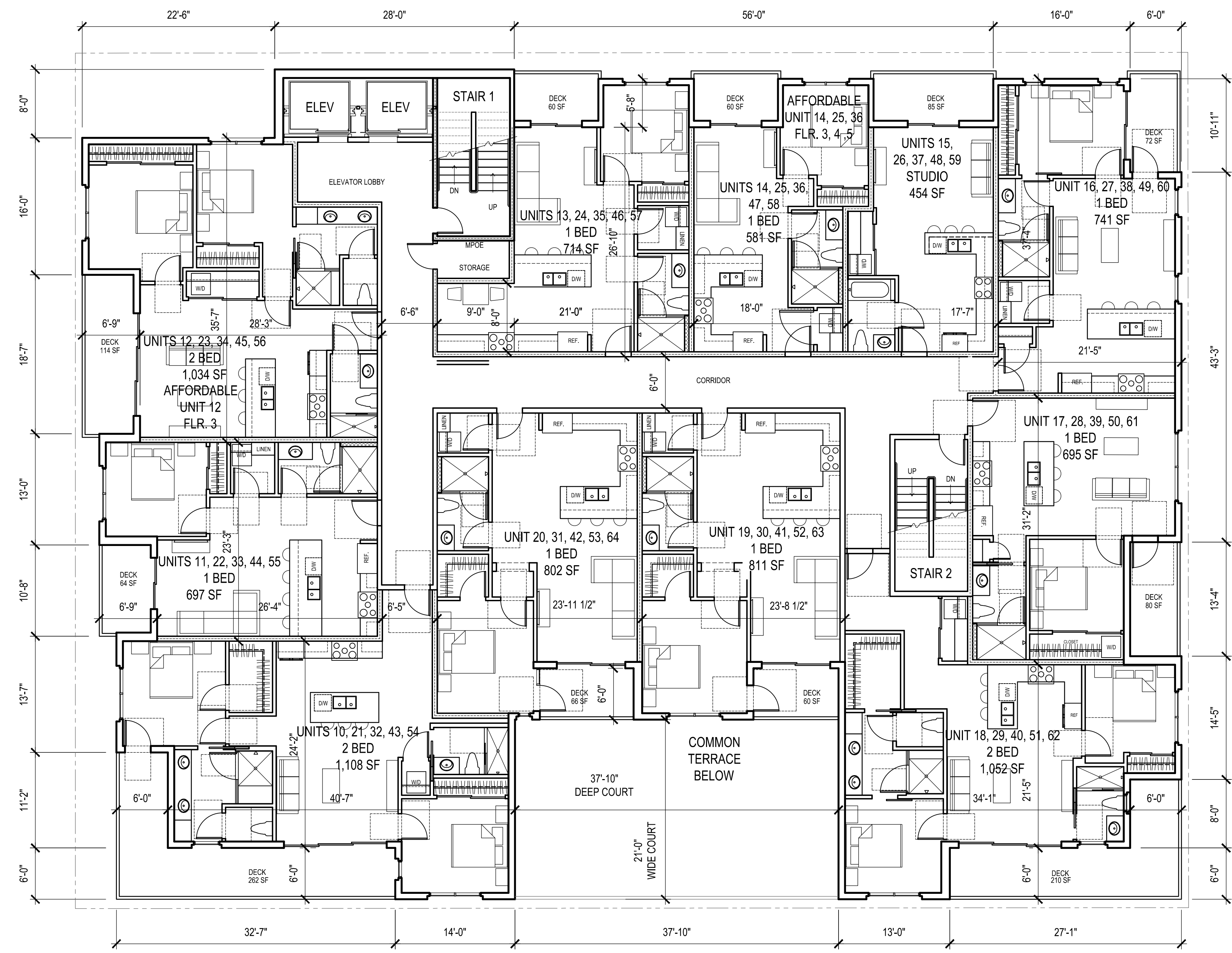


**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

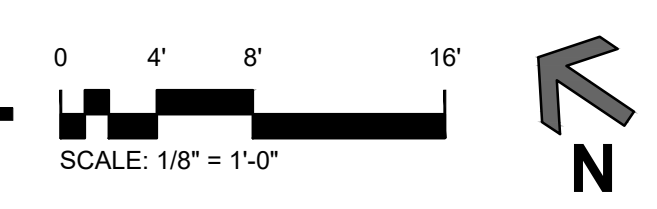
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Project:	901 PIER VIEW
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Revisions:	
▲ PLANNING COMMENTS 1	9-14-22
▲ PLAN COMMENTS 2	12-14-22
▲ PLAN COMMENTS 3	2-3-22

Sheet Title:
SECOND FLOOR PLAN

Sheet Number:
A2.4



THIRD - SEVENTH FLOOR PLAN



**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

Date:	6-03-22
Project:	901 PIER VIEW
File:	A2.5
Revisions:	
▲ PLANNING COMMENTS 1	9-14-22
▲ PLAN COMMENTS 2	12-14-22
▲ PLAN COMMENTS 3	2-3-22

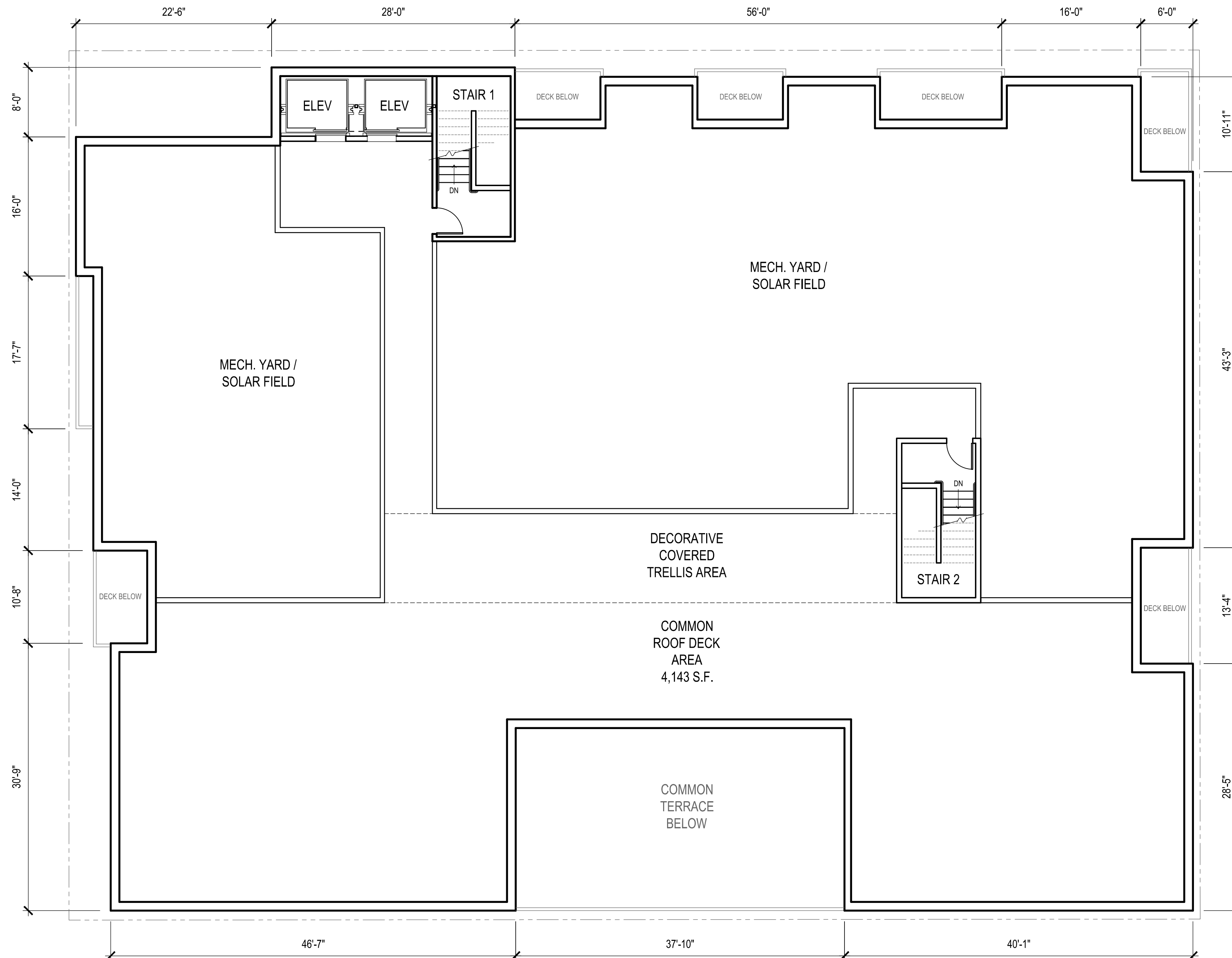
Sheet Title:
THIRD - SEVENTH FLR. PLAN

Sheet Number:
A2.5

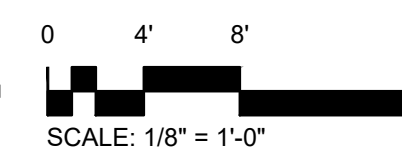
RD22-00002
 RP22-00001
 DB22-00007



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ROOF PLAN



**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

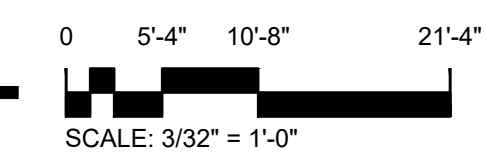
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Project:	901 PIER VIEW
File:	A2.6
Revisions:	
△ PLANNING COMMENTS 1	9-14-22
△ PLAN COMMENTS 2	12-14-22
△ PLAN COMMENTS 3	2-3-22

Sheet Title:
ROOF PLAN

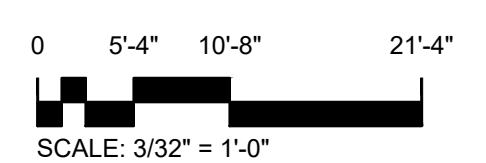
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A2.6



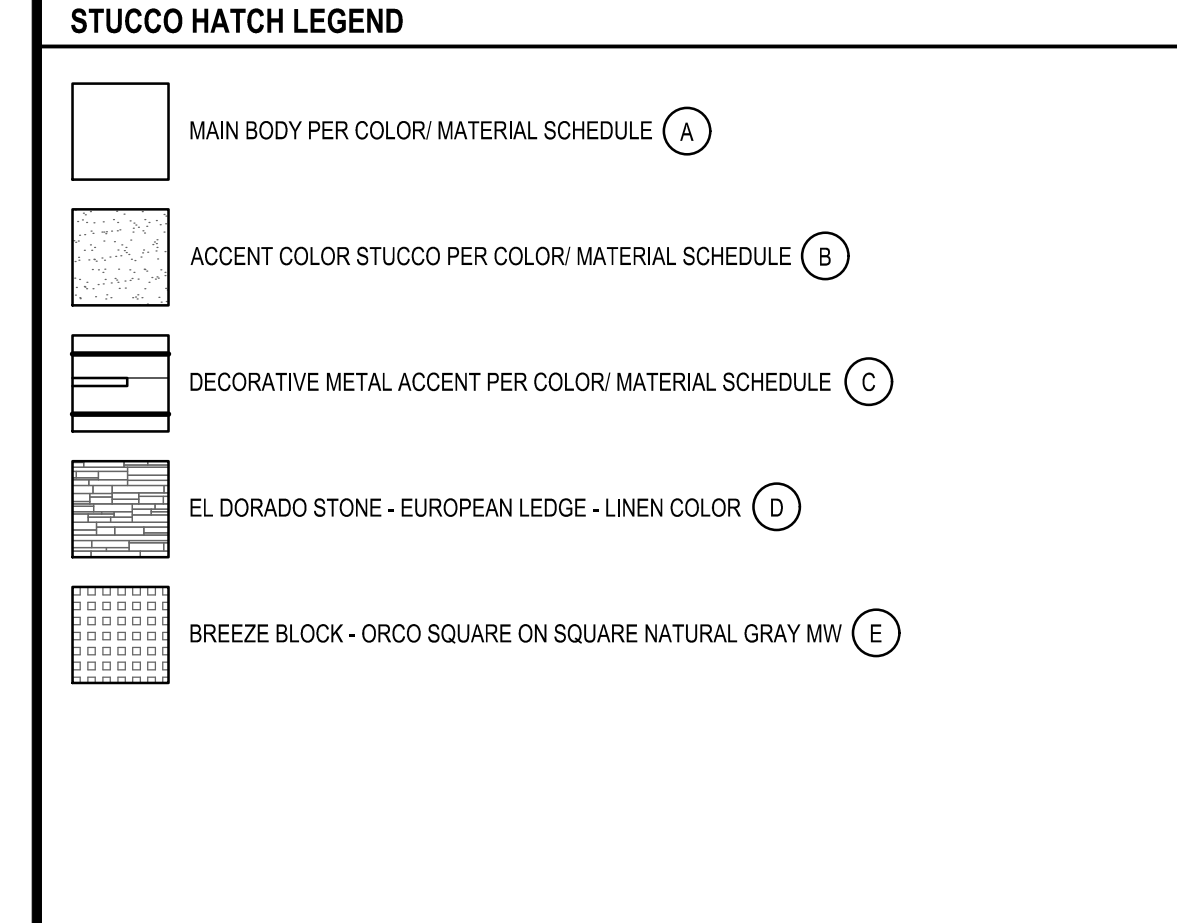
1 WEST ELEVATION



2 NORTH ELEVATION



- GENERAL NOTES**
- T.O.P. = TOP OF PARAPET ELEVATION.
 - F.F.E. = FINISH FLOOR ELEVATION.
 - ALL NOTES ARE TYPICAL.
 - ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
 - ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.)
 - BUILDING HEIGHT HAS BEEN ESTABLISHED BASED ON THE NEW PAD ELEVATION
 - FOR MATERIAL TRANSITIONS SEE DETAIL XX
 - ALL SEISMIC STRAPS AND EXPOSED STRUCTURAL HARDWARE TO BE COVERED WITH SELF ADHERED FLASHING PRIOR TO THE APPLICATION OF WATER-RESISTIVE BARRIER
 - FOR WALLS NOT SHOWN ON THESE ELEVATIONS, CONTINUE THE ADJACENT WALL FINISHES WHERE OBTAINED
 - FOR TYPICAL PLASTER JOINTS SEE DETAIL XX
 - FOR SIDING FIXTURE PENETRATIONS SEE DETAIL XX
 - FOR TYPICAL SIDING DETAILS SEE DETAILS XX
 - FOR TYPICAL WALL FLASHING SEE DETAIL XX
 - FOR FLASHING AT PARAPET AND TERMINATION AT WALLS SEE DETAIL XX
- NOTE: METAL LATH INSTALLATION SHALL COMPLY W/ EMLA 920-09
- NOTE: ALL FLASHING AND WATERPROOFING OF EXTERIOR WALL MOUNTED ITEMS AND PENETRATIONS SUCH AS DOWNSPOUTS, HOSE BIBBS, ELECTRICAL PANELS, RECEPTACLES, LIGHT FIXTURES, WALL VENTS, ETC. SHALL BE FLASHED WITH "QUICKFLASH" PANELS. FASTENERS PENETRATING THE EXTERIOR ENVELOPE SHALL BE PREDRILLED AND HOLES FILLED WITH SEALANT PRIOR TO DRIVING FASTENERS.



- COLOR / MATERIAL SCHEDULE** NOTE: ALL REFERENCES ARE TYPICAL
- (A) STUCCO (MAIN BODY) FINISH: 20/30 SAND FLOAT. COLOR: SW 7551 PEARLY WHITE
 - (B) STUCCO (ACCENT) FINISH: 20/30 SAND FLOAT. COLOR: SW 7017 DORIAN GRAY
 - (C) DECORATIVE METAL ACCENTS - AEP SPAN COLOR WINTER WHITE
 - (D) EL DORADO STONE - EUROPEAN LEDGE - COLOR: LINEN
 - (E) CONCRETE BREEZE BLOCK - ORCO SQUARE ON SQUARE NATURAL GRAY MW
 - (F) METAL PARAPET CAP - AEP SPAN WINTER WHITE
 - (G) CLEAR GLAZING W/ BLACK FRAMES- ANDERSEN 100 SERIES BLACK OR EQ. (STOREFRONT TO MATCH)
 - (H) CLEAR COMMERCIAL GLAZING W/ BLACK STOREFRONT FRAME
 - (J) 42" HIGH CLEAR GLASS GUARDRAIL SYSTEM W/ SILVER POSTS AND RAILS

- KEYNOTES** NOTE: ALL KEYNOTES ARE TYPICAL
- (1) STUCCO CONTROL JOINT, TYPICAL. SEE DETAIL XX
 - (2) PODIUM SLAB CONTROL JOINT. SEE DETAIL XX
 - (3) DECORATIVE LIGHTING. SEE ELECTRICAL PLANS
 - (4) PROJECT SIGNAGE. PROVIDE POWDER COAT FINISH W/ STANDOFFS. COLOR PER ARCHITECT
 - (5) PROJECT ADDRESS. PROVIDE POWDER COAT FINISH W/ STANDOFFS. COLOR AND FONT PER ARCHITECT. 12" HIGH NUMBERS. CONTRACTOR TO VERIFY LOCATION AND SIZE W/ FIRE DEPT.
 - (6) 42" HIGH GLASS GUARDRAIL SYSTEM W/ SILVER POSTS AND RAIL
 - (7) ARCHITECTURAL METAL EYEBROW DETAIL. COLOR TO MATCH ADJACENT METAL COLOR.
 - (8) PARKING GARAGE ROLL-UP SECURITY GRILLE.
 - (9) STOREFRONT SYSTEM W/ CLEAR GLAZING. FRAME COLOR: MATTE BLACK. SEE WINDOW SCHEDULE
 - (10) RESIDENTIAL COMPOSITE WINDOW SYSTEM W/ CLEAR GLAZING. FRAME COLOR: MATTE BLACK. SEE WINDOW SCHEDULE
 - (11) DECORATIVE RAISED WATER TREATMENT PLANTER. FINISH PER ELEVATIONS. PROVIDE DECORATIVE CONCRETE CAP TO MATCH BREEZE BLOCK COLOR.
 - (12) FUTURE TENANT SIGNAGE UNDER SEPARATE PERMIT
 - (13) DECORATIVE CONCRETE BREEZE BLOCK PER PLAN
 - (14) DECORATIVE ROOF DECK PATIO COVER CONSTRUCTED WITH NON COMBUSTIBLE MATERIALS.
 - (15) HOLLOW METAL MAN DOOR. COLOR TO MATCH ACCENT WALL COLOR
 - (16) DECORATIVE METAL PARAPET SCREEN

RD22-00002
RP22-00001
DB22-00007



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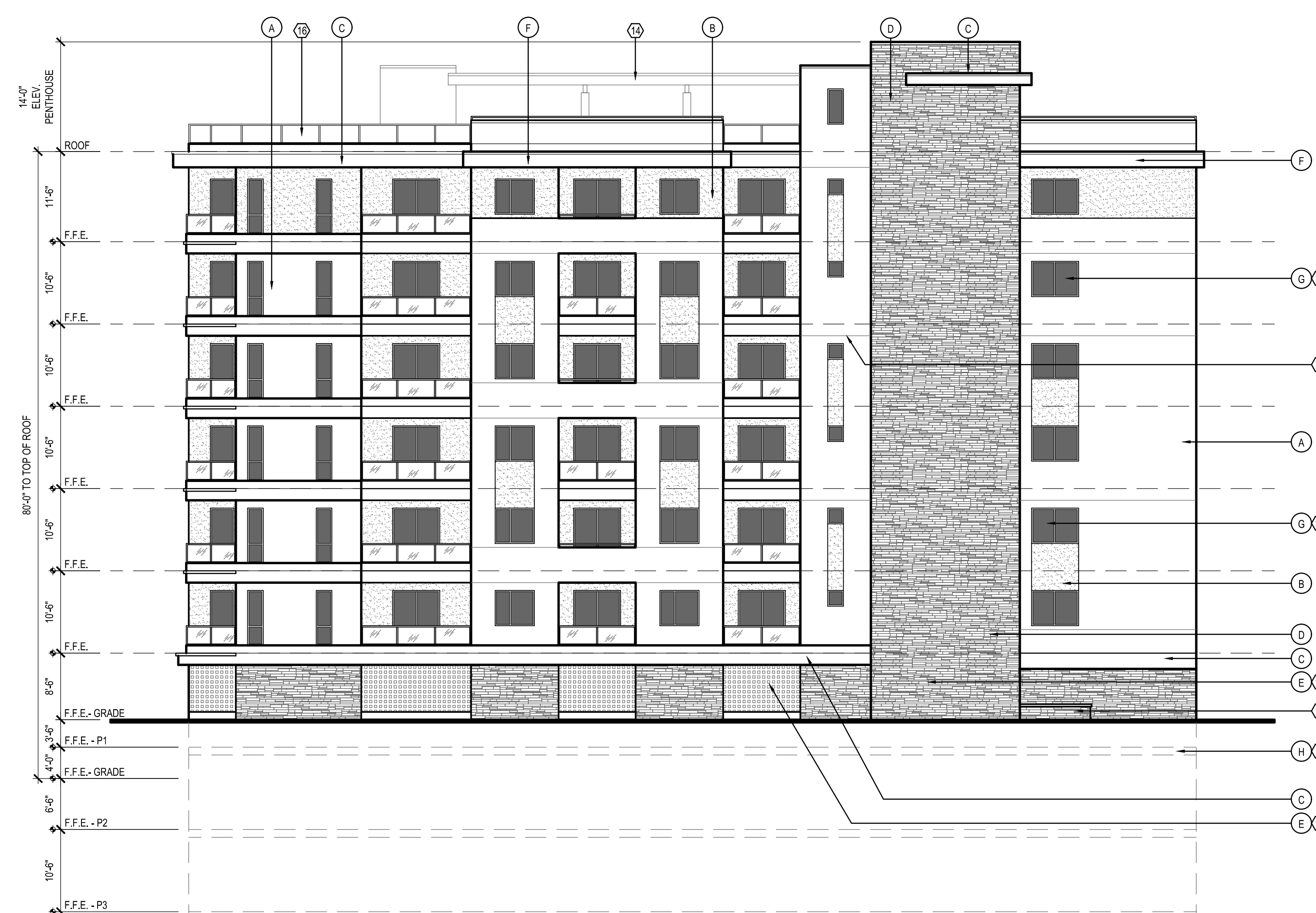
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PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

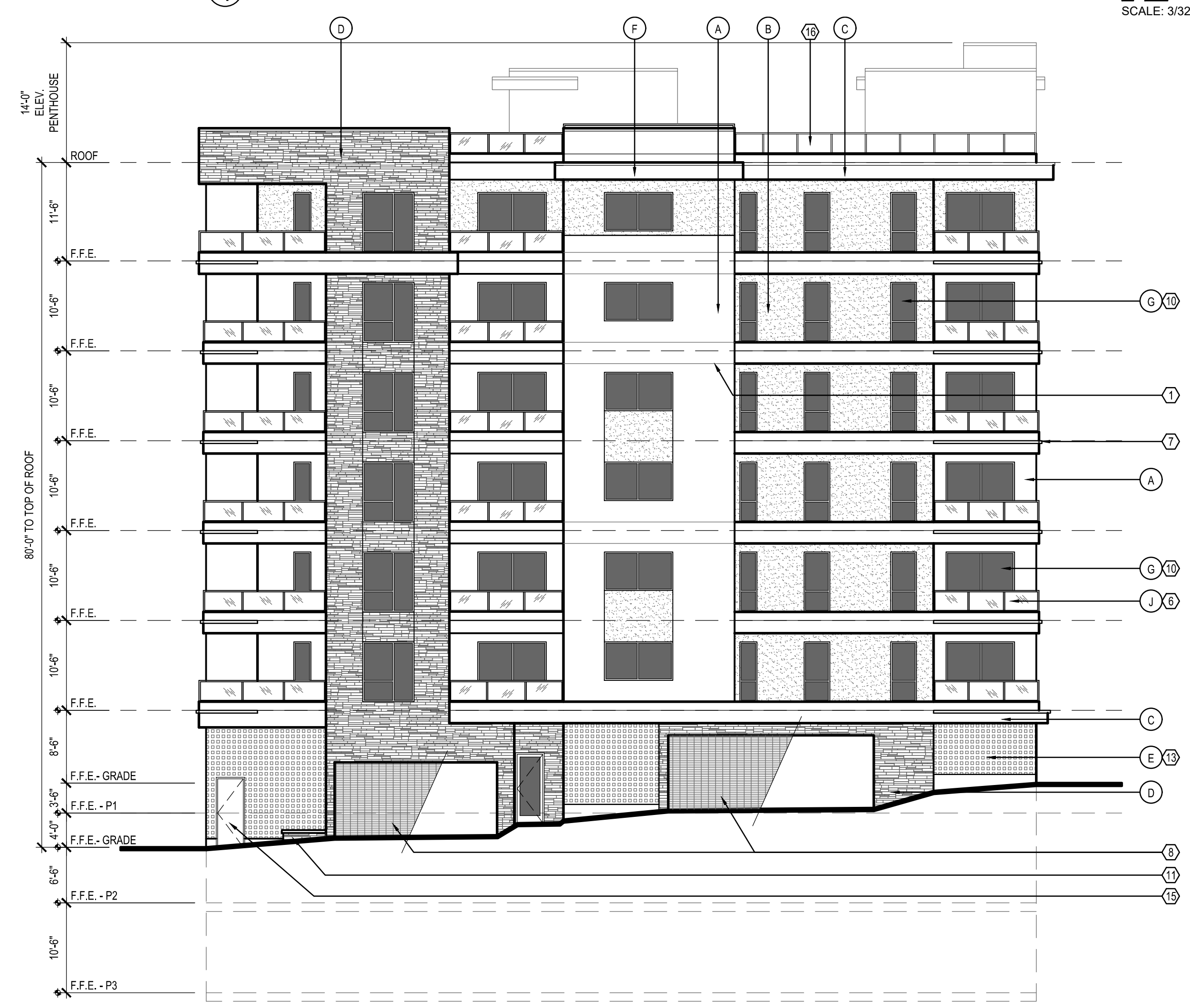
Date:	6-03-22
Project:	901 PIER VIEW
File:	A3.12
Revisions:	
△ PLANNING COMMENTS 1	9-14-22
△ PLAN COMMENTS 2	12-14-22
△ PLAN COMMENTS 3	2-3-22

Sheet Title:
BUILDING ELEVATIONS

Sheet Number:
A3.1



1 EAST ELEVATION



2 SOUTH ELEVATION

GENERAL NOTES

- T.O.P. = TOP OF PARAPET ELEVATION.
- F.F.E. = FINISH FLOOR ELEVATION.
- ALL NOTES ARE TYPICAL.
- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.)
- BUILDING HEIGHT HAS BEEN ESTABLISHED BASED ON THE NEW PAD ELEVATION
- FOR MATERIAL TRANSITIONS SEE DETAIL XX
- ALL SEISMIC STRAPS AND EXPOSED STRUCTURAL HARDWARE TO BE COVERED WITH SELF ADHERED FLASHING PRIOR TO THE APPLICATION OF WATER-RESISTIVE BARRIER
- FOR WALLS NOT SHOWN ON THESE ELEVATIONS, CONTINUE THE ADJACENT WALL FINISHES WHERE OBTAINED
- FOR TYPICAL PLASTER JOINTS SEE DETAIL XX
- FOR SIDING FIXTURE PENETRATIONS SEE DETAIL XX
- FOR TYPICAL SIDING DETAILS SEE DETAILS XX
- FOR TYPICAL WALL FLASHING SEE DETAIL XX
- FOR FLASHING AT PARAPET AND TERMINATION AT WALLS SEE DETAIL XX

NOTE: METAL LATH INSTALLATION SHALL COMPLY W/ EMLA 920-09

NOTE: ALL FLASHING AND WATERPROOFING OF EXTERIOR WALL MOUNTED ITEMS AND PENETRATIONS SUCH AS DOWNSPOUTS, HOSE BIBBS, ELECTRICAL PANELS, RECEPTACLES, LIGHT FIXTURES, WALL VENTS, ETC. SHALL BE FLASHED WITH "QUICKFLASH" PANELS. FASTENERS PENETRATING THE EXTERIOR ENVELOPE SHALL BE PREDRILLED AND HOLES FILLED WITH SEALANT PRIOR TO DRIVING FASTENERS.

STUCCO HATCH LEGEND

	MAIN BODY PER COLOR/ MATERIAL SCHEDULE (A)
	ACCENT COLOR STUCCO PER COLOR/ MATERIAL SCHEDULE (B)
	DECORATIVE METAL ACCENT PER COLOR/ MATERIAL SCHEDULE (C)
	EL DORADO STONE - EUROPEAN LEDGE - LINEN COLOR (D)
	BREEZE BLOCK - ORCO SQUARE ON SQUARE NATURAL GRAY MW (E)

COLOR / MATERIAL SCHEDULE NOTE: ALL REFERENCES ARE TYPICAL

(A)	STUCCO (MAIN BODY) FINISH: 20/30 SAND FLOAT. COLOR: SW 7551 PEARLY WHITE
(B)	STUCCO (ACCENT) FINISH: 20/30 SAND FLOAT. COLOR: SW 7017 DORIAN GRAY
(C)	DECORATIVE METAL ACCENTS - AEP SPAN COLOR WINTER WHITE
(D)	ELDORADO STONE - EUROPEAN LEDGE - COLOR: LINEN
(E)	CONCRETE BREEZE BLOCK - ORCO SQUARE ON SQUARE NATURAL GRAY MW
(F)	METAL PARAPET CAP - AEP SPAN WINTER WHITE
(G)	CLEAR GLAZING W/ BLACK FRAMES- ANDERSEN 100 SERIES BLACK OR EQ. (STOREFRONT TO MATCH)
(H)	CLEAR COMMERCIAL GLAZING W/ BLACK STOREFRONT FRAME
(J)	42" HIGH CLEAR GLASS GUARDRAIL SYSTEM W/ SILVER POSTS AND RAILS

KEYNOTES NOTE: ALL KEYNOTES ARE TYPICAL

(1)	STUCCO CONTROL JOINT, TYPICAL. SEE DETAIL XX
(2)	PODIUM SLAB CONTROL JOINT. SEE DETAIL XX
(3)	DECORATIVE LIGHTING. SEE ELECTRICAL PLANS
(4)	PROJECT SIGNAGE. PROVIDE POWDER COAT FINISH W/ STANDOFFS. COLOR PER ARCHITECT
(5)	PROJECT ADDRESS. PROVIDE POWDER COAT FINISH W/ STANDOFFS. COLOR AND FONT PER ARCHITECT. 12" HIGH NUMBERS. CONTRACTOR TO VERIFY LOCATION AND SIZE W/ FIRE DEPT.
(6)	42" HIGH GLASS GUARDRAIL SYSTEM W/ SILVER POSTS AND RAIL
(7)	ARCHITECTURAL METAL EYEBROW DETAIL. COLOR TO MATCH ADJACENT METAL COLOR.
(8)	PARKING GARAGE ROLL-UP SECURITY GRILLE.
(9)	STOREFRONT SYSTEM W/ CLEAR GLAZING. FRAME COLOR: MATTE BLACK. SEE WINDOW SCHEDULE
(10)	RESIDENTIAL COMPOSITE WINDOW SYSTEM W/ CLEAR GLAZING. FRAME COLOR: MATTE BLACK. SEE WINDOW SCHEDULE
(11)	DECORATIVE RAISED WATER TREATMENT PLANTER. FINISH PER ELEVATIONS. PROVIDE DECORATIVE CONCRETE CAP TO MATCH BREEZE BLOCK COLOR.
(12)	FUTURE TENANT SIGNAGE UNDER SEPARATE PERMIT
(13)	DECORATIVE CONCRETE BREEZE BLOCK PER PLAN
(14)	DECORATIVE ROOF DECK PATIO COVER CONSTRUCTED WITH NON COMBUSTIBLE MATERIALS.
(15)	HOLLOW METAL MAN DOOR. COLOR TO MATCH ACCENT WALL COLOR
(16)	DECORATIVE METAL PARAPET SCREEN

RD22-00002
RP22-00001
DB22-00007



ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

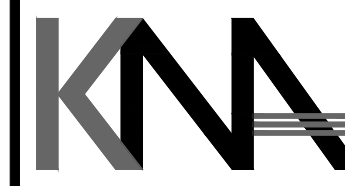
\\stump\moeller\2-28-21.jpg

PIER VIEW MIXED USE
901 PIER VIEW
OCEANSIDE, CA

Date:	6-03-22
Project:	901 PIER VIEW
File:	A3.12
Revisions:	
	PLANNING COMMENTS 1 9-14-22
	PLAN COMMENTS 2 12-14-22
	PLAN COMMENTS 3 2-3-22

Sheet Title:
BUILDING ELEVATIONS

Sheet Number:
A3.2



KIRK MOELLER ARCHITECTS, INC.
 2888 LOKER AVE. EAST, STE 220
 CARLSBAD, CA 92010
 KIRK@KMOARCHITECTSINC.COM
 760-814-8128

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WEST COLORED ELEVATION

MATERIALS LIST

- (A) STUCCO (MAIN BODY) FINISH: 20/30 SAND FLOAT. COLOR: SW 7551 PEARLY WHITE
- (B) STUCCO (ACCENT) FINISH: 20/30 SAND FLOAT. COLOR: SW 7017 DORIAN GRAY
- (C) DECORATIVE METAL ACCENTS - AEP SPAN COLOR WINTER WHITE
- (D) ELDORADO STONE - EUROPEAN LEDGE- COLOR: LINEN
- (E) CONCRETE BREEZE BLOCK - ORCO SQUARE ON SQUARE NATURAL GRAY MW
- (F) METAL PARAPET CAP - AEP SPAN WINTER WHITE
- (G) CLEAR GLAZING W/ BLACK FRAMES- ANDERSEN 100 SERIES BLACK OR EQ. (STOREFRONT TO MATCH)
- (H) CLEAR COMMERCIAL GLAZING W/ BLACK STOREFRONT FRAME
- (J) 42" HIGH CLEAR GLASS GUARDRAIL SYSTEM W/ SILVER POSTS AND RAILS

MATERIALS BOARD

**PIER VIEW MIXED USE
 901 PIER VIEW
 OCEANSIDE, CA**

Date:	6-03-22
Project:	901 PIER VIEW
File:	A3.3
Revisions:	
△ PLANNING COMMENTS 1	9-14-22
△ PLAN COMMENTS 2	12-14-22
△ PLAN COMMENTS 3	2-3-22

Sheet Title:
**COLORED
 ELEVATION
 & MATERIALS**

Sheet Number:
A3.3

RD22-00002 DEVELOPMENT PLAN / DENSITY BONUS / CONDITIONAL USE / TENTATIVE MAP FOR: 901 PIER VIEW WAY

LEGEND

SUBJECT PROPERTY:

RIGHT-OF-WAY:

CENTERLINE OF ROAD:

ADJACENT LOT LINE:

RELINQUISHMENT OF ACCESS RIGHTS:

EASEMENT INFORMATION

EXISTING EASEMENTS: NO RECORDED EASEMENTS FOUND
PROPOSED EASEMENTS: NO EASEMENTS ARE PROPOSED

ZONING INFORMATION

GENERAL PLAN DESIGNATION: D-2
PRESENT ZONING REQUIREMENTS: D-2
HEIGHT: 45 OR 4 STORIES

PRESENT USE: MULTI-FAMILY RESIDENTIAL
PROPOSED USE: MIXED USE (RETAIL & RESIDENTIAL)

TOTAL UNITS:
20X MULTI FAMILY RESIDENTIAL
2X COMMERCIAL (~2,825 SF)

SETBACK INFORMATION

FRONT YARD (FYSB) 10 FT
REAR YARD (RYSB) 5 FT
SIDE YARD - INTERIOR (SYSB) 10 FT
SIDE YARD - STREET (SYSB) 10 FT
SIDE YARD - ALLEY (SYSB) 5 FT

*SETBACKS PER CITY OF OCEANSIDE ZONING ORDINANCE FOR D2 ZONING FOR DOWNTOWN ZONES REFER TO ARTICLE 12 FOR DOWNTOWN (D2) ZONE DEVELOPMENT STANDARDS

ACCESS INFORMATION

VEHICULAR ACCESS FROM PUBLIC ALLEY

FLOODPLAIN INFORMATION

FEMA FLOOD ZONE: ZONE X / NOT IN SPECIAL FLOOD ZONE AREA
FIRM PANEL: 06073C0734J
EFFECTIVE DATE: 12/20/2019

UTILITIES

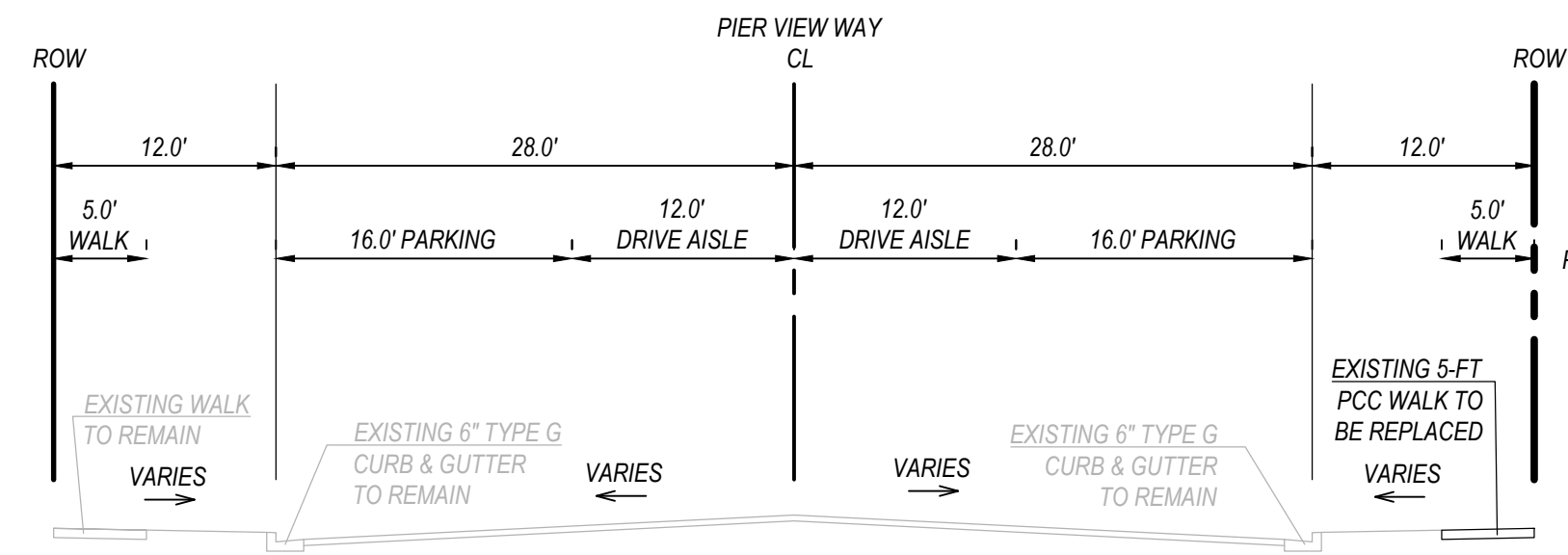
WATER: CITY OF OCEANSIDE WATER UTILITIES DISTRICT
FIRE: OCEANSIDE FIRE PROTECTION DISTRICT
SEWER: CITY OF OCEANSIDE
ELEMENTARY SCHOOL: OCEANSIDE UNIFIED SCHOOL DISTRICT
HIGH SCHOOL: OCEANSIDE HIGH SCHOOL DISTRICT

AREA TAKEOFF CALCULATIONS

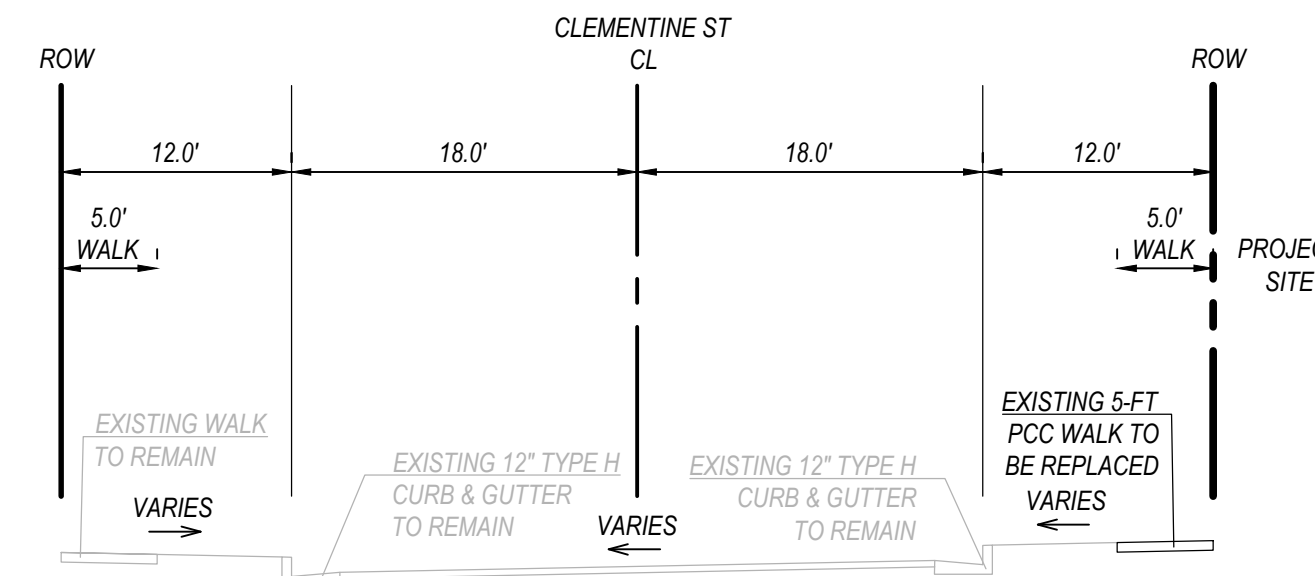
TOTAL SITE AREA: 13,009 SF
AREA DISTURBED BY PROJECT: 19,458 SF*

EXISTING IMPERVIOUS AREA: 14,289 SF*
PROPOSED IMPERVIOUS AREA: 16,902 SF*
NET CHANGE IN IMPERVIOUS AREA: +2,613 SF (INCREASE)

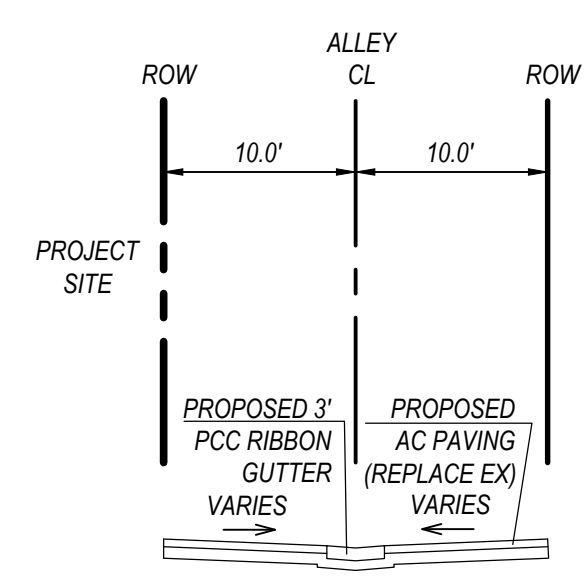
*INCLUDES OFF-SITE AREA DISTURBED BY PROJECT



TYPICAL SECTION: PIER VIEW WAY
NOT TO SCALE



TYPICAL SECTION: NORTH CLEMENTINE STREET
NOT TO SCALE



TYPICAL SECTION:
PUBLIC ALLEY
NOT TO SCALE

CONDOMINIUM NOTE

THIS IS A MAP OF AN AIRSPACE CONDOMINIUM SUBDIVISION PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA, AND IS PURSUANT TO THE SUBDIVISION MAP ACT. THIS PROJECT IS COMPROMISED OF A ONE LOT CONDOMINIUM SUBDIVISION AND CONTAINS A MAXIMUM OF 1 COMMERCIAL CONDOMINIUM UNITS AND 1 RESIDENTIAL CONDOMINIUM UNITS.



PLAN PREPARATION:
PREPARED ON: 12/15/2022
PREPARED BY: CJB

ENGINEER OF WORK

TYLER LAWSON, PE # 80356 DATE

OWNER CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED PERMIT AND THAT SAID PLAN SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY

OWNER:
WILL WINKENHOFER, FIDELIS ADVISORS
2698 PEPPERTREE WAY, CARLSBAD, CA 92009

SUBDIVIDER INFORMATION

THE SUBDIVIDER AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE CITY OF OCEANSIDE AND ITS AGENTS, OFFICERS, AND EMPLOYEES FROM ANY CLAIM ACTION, OR PROCEEDING AGAINST THE CITY OF OCEANSIDE OR ITS AGENTS, OFFICERS OR EMPLOYEES, TO ATTACK, SET ASIDE, VOID, OR ANNUL AN APPROVAL FROM THE CITY OF OCEANSIDE CONCERNING THE SUBDIVISION WHEN SUCH ACTION IS BROUGHT WITHIN THE TIME PERIOD SPECIFIED IN GOV. CODE SECTION 66499.37. THIS CERTIFICATION IS CONDITIONED UPON THE CITY OF OCEANSIDE PROVIDING PROMPT NOTICE TO THE SUBDIVIDER AS PROVIDED FOR BY THE ACT (GOV. CODE 66474.9)

SUBDIVIDER:
WILL WINKENHOFER, FIDELIS ADVISORS
2698 PEPPERTREE WAY, CARLSBAD, CA 92009

LEGAL DESCRIPTION

LOT 6, 7, 8 AND 9 IN BLOCK 70 OF HORNE'S ADDITION TO THE CITY OF OCEANSIDE, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 323, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 3, 1886.
APN: 147-195-03-00

BENCHMARK INFORMATION

ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND BRASS DISC IN WELL MONUMENT AS SHOWN ON ROS 2187 AS POINT NO. 1005
LOCATION: INTERSECTION OF N CLEMENTINE STREET AND PIER VIEW WAY

ELEVATION: 49.79 (NAVD 88)

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 2011, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTROL STATIONS 1006 AND 1005 BEING A GRID BEARING OF N40-11'34"W AS DERIVED FROM GEODETIC VALUES SHOWN ON ROS NO. 21787, CITY OF OCEANSIDE SURVEY CONTROL, FILED ON AUGUST 21, 2014 AS FILE NO. 2014-0361129 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

SCOPE OF WORK

THE PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ONSITE STRUCTURES AND CONSTRUCT A MIXED-USE DEVELOPMENT CONSISTING OF ~2,500 SF OF COMMERCIAL SPACE, AND 64 NEW MULTI-FAMILY RESIDENTIAL FOR-RENT APARTMENT UNITS WITH 57 MARKET-RATE UNITS AND 7 LOW-INCOME AFFORDABLE UNITS.
THE PROJECT SEEKS APPROVAL FOR A PARCEL MAP, DEVELOPMENT PLAN, AND DENSITY BONUS APPLICATION.
THE PROJECT REQUESTS MULTIPLE WAIVERS OF DEVELOPMENT STANDARDS AND IS ALLOTTED INCENTIVES UNDER STATE DENSITY BONUS LAW BY PROVIDING AFFORDABLE HOUSING.
THE PROJECT REQUESTS TO USE (1) INCENTIVE TO NOT UNDERGROUND THE OVERHEAD UTILITIES ALONG PROJECT FRONTAGE.

EARTHWORK QUANTITIES

CUT:	8000 CY	MAX CUT HEIGHT:	24.0 FT
FILL:	0 CY	MAX FILL HEIGHT:	0.0 FT
IMPORT:	0 CY		
REMEDIAL:	100 CY		

ESTIMATE INCLUDES EARTHWORK WITHIN BUILDING FOOTPRINT.
ESTIMATE DOES NOT INCLUDE STRIPPINGS OR UTILITY TRENCH VOLUMES, IF REQUIRED BY SITE CONDITIONS.
CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK.
EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS).
DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION.

TOPOGRAPHY

TOPOGRAPHY OBTAINED BY: FIELD SURVEY METHODS
DATE: APRIL 10, 2022
PREPARED BY: PASCO, LARET, SUITER & ASSOCIATES

SITE ADDRESS

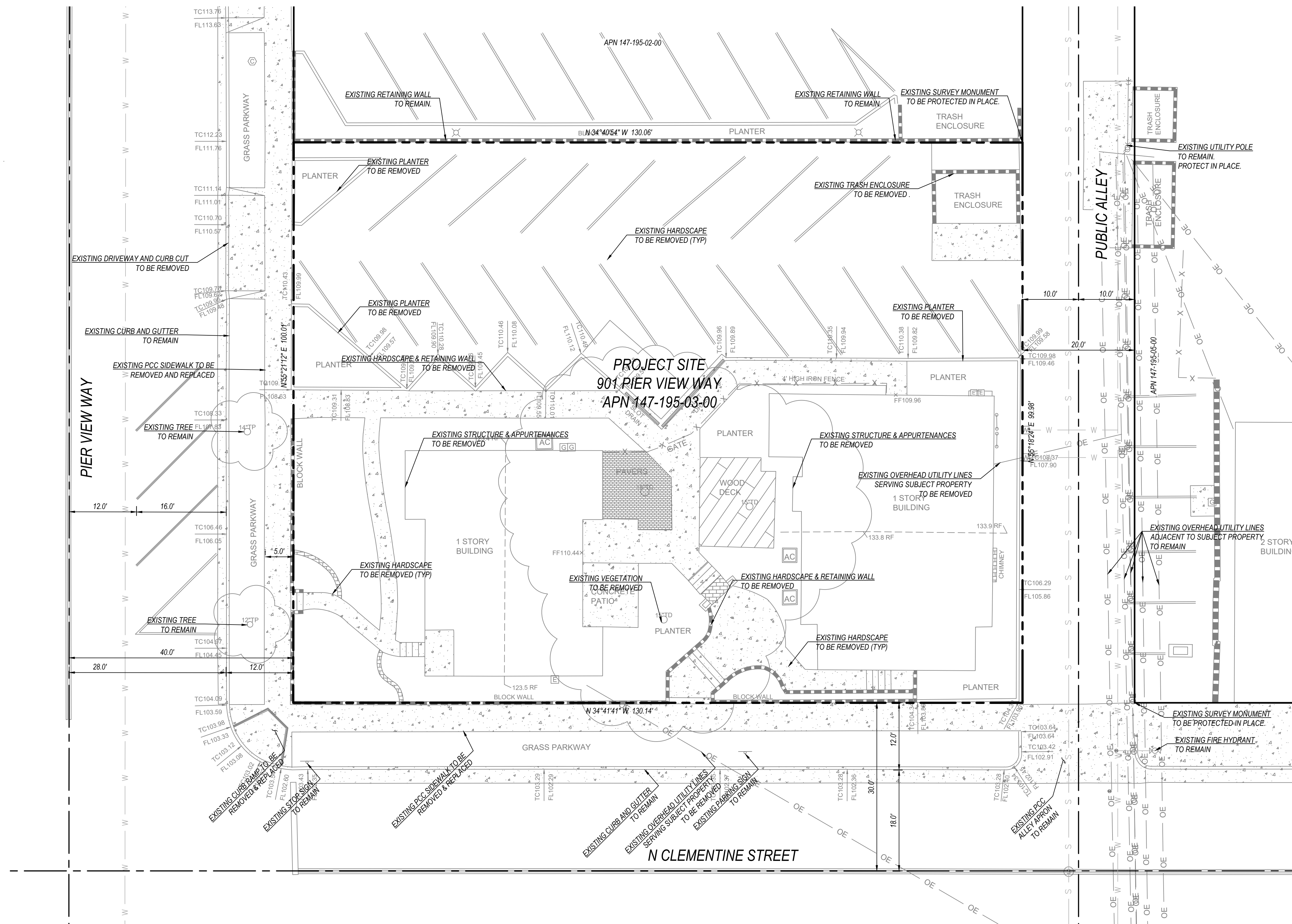
901 PIER VIEW WAY
OCEANSIDE, CA 92054
APN: 147-195-03-00
LOT SIZE: 13,009 SF

SHEET INDEX

- C1.0 - CIVIL TITLE SHEET
- C1.1 - EXISTING CONDITIONS PLAN
- C2.0 - PRELIMINARY GRADING PLAN
- C2.1 - DETAILS & SECTIONS

PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsengineering.com

RD22-00002
EXISTING CONDITIONS FOR:
901 PIER VIEW WAY



LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
ADJACENT LOT LINE	---
CENTERLINE OF ROAD	---
EXISTING CONTOUR	---
EXISTING FENCE	-X-X-
EXISTING WATER MAIN	-W-W-
EXISTING SEWER MAIN	-S-S-
EXISTING GAS MAIN	-G-G-
EXISTING OVERHEAD UTILITIES	-OE-
EXISTING RETAINING WALL	---

SITE NOTES

- EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE. IF MONUMENT IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF DISCREPANCIES UPON DISCOVERY.
- ALL SIDEWALK SECTION REPLACEMENTS SHALL BE MADE AT NEAREST EXISTING CONSTRUCTION JOINTS EITHER SIDE OF REPLACEMENT. SAWCUTTING NEW JOINTS IS NOT ALLOWED. ALL SIDEWALK PANEL REPLACEMENTS SHALL MATCH EXISTING SIDEWALK PATTERN.

SITE PLAN
SCALE: 1" = 10'

ENGINEER OF WORK

PREPARED BY:
PASCO LARET SUITER
& ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.pisacengineering.com

TYLER LAWSON, PE # 80356 DATE

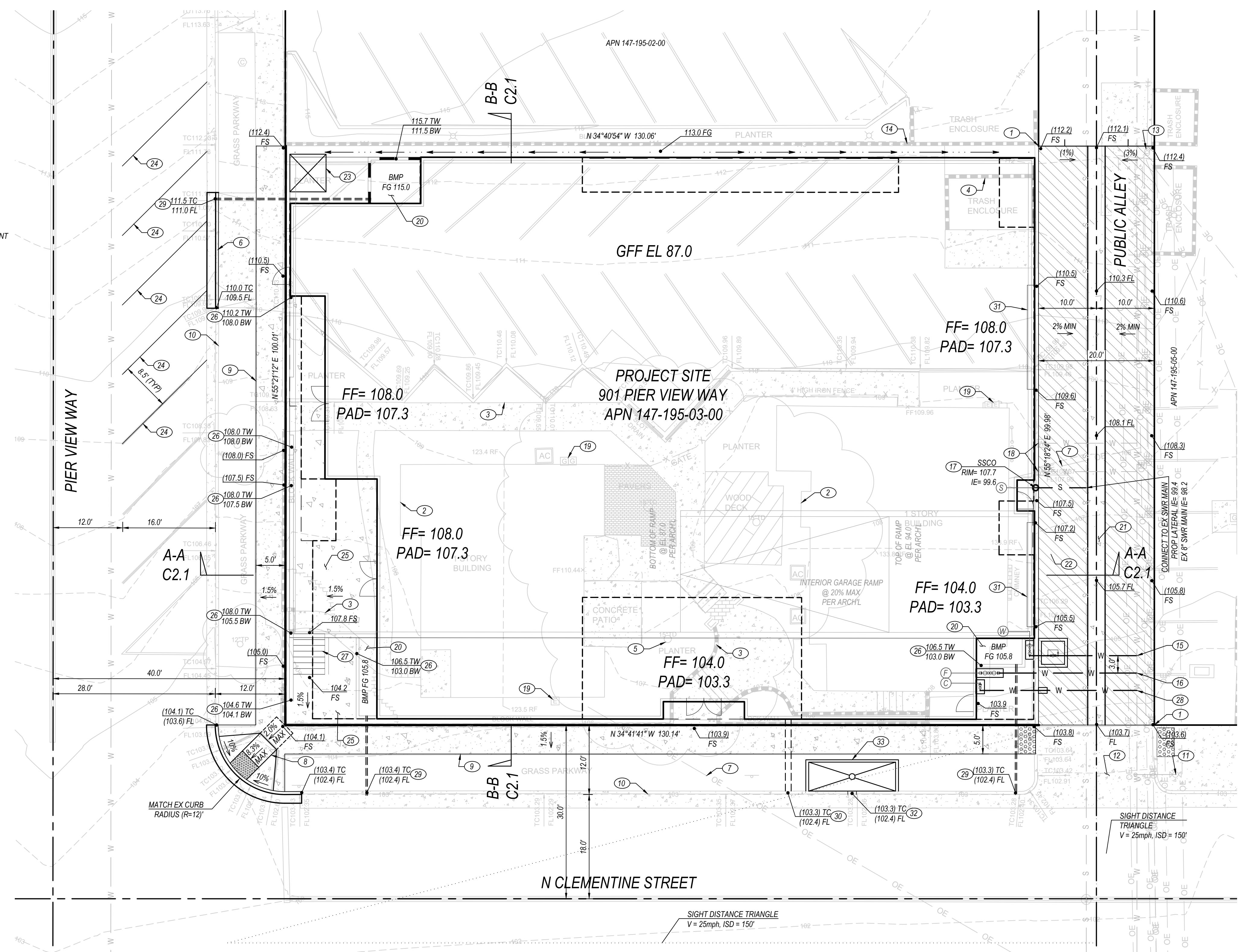
RD22-00002 PRELIMINARY GRADING PLAN FOR: 901 PIER VIEW WAY

LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
ADJACENT LOT LINE	---
CENTERLINE OF ROAD	---
EXISTING CONTOUR	---
EXISTING FENCE	-X-X-
EXISTING WATER MAIN	-W-W-
EXISTING SEWER MAIN	-S-S-
EXISTING GAS MAIN	-G-G-
EXISTING OVERHEAD UTILITIES	-OE-
EXISTING RETAINING WALL	---
PROPOSED BUILDING PER ARCHL	---
PROPOSED WALL PER ARCHL	---
PROPOSED ROOF FOOTPRINT PER ARCHL	---
PROPOSED LIMIT OF SUBTERRANEAN GARAGE PER ARCHL	---
PROPOSED LIMIT OF BUILDING OVERHANG PER ARCHL	---
PROPOSED CONTOUR	---
PROPOSED DRAINAGE ARROW	---
PROPOSED CURB AND GUTTER	---
PROPOSED SAWCUT OF AC PAVEMENT	---
PROPOSED AC PAVEMENT	---
PROPOSED PCC SIDEWALK	---
PROPOSED 3-FT RIBBON GUTTER	---
PROPOSED HARDSCAPE (PER L'SCAPE)	---
PROPOSED LOWEST GARAGE FLOOR (PER ARCHL)	---
PROPOSED RAISED BMP PER DETAIL, THIS SHEET	---
PROPOSED SIDEWALK OUTLET	---
PROPOSED CURB UNDERDRAIN	---
PROPOSED 3" DOMESTIC WATER SERVICE, METER, & BACKFLOW	---
PROP. 1.5" COMMERCIAL WATER SERVICE, METER, & BACKFLOW	---
PROPOSED 4" FIRE SERVICE AND DDCVA W/ INTEGRATED FDC	---
PROPOSED 6" SEWER LATERAL AND C.O.	---
PROPOSED CMU RETAINING WALL PER SDRSD C-3	---

CONSTRUCTION NOTES

- 1 EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE. CORNER RECORD OR RECORD OF SURVEY TO BE FILED WITH THE COUNTY IF DISTURBED OR DESTROYED.
- 2 EXISTING STRUCTURE & APPURTENANCES TO BE REMOVED PER DEMOLITION PERMIT.
- 3 EXISTING HARDSCAPE & RETAINING WALL TO BE REMOVED PER DEMOLITION PERMIT.
- 4 EXISTING TRASH ENCLOSURE TO BE REMOVED PER DEMOLITION PERMIT.
- 5 EXISTING VEGETATION TO BE REMOVED.
- 6 EXISTING DRIVEWAY & CURB UT TO BE REMOVED.
- 7 EXISTING OVERHEAD UTILITY LINES SERVING SUBJECT PROPERTY TO BE REMOVED.
- 8 EXISTING CURB RAMP TO BE REMOVED & REPLACED. SEE GRADING DETAIL, THIS SHEET.
- 9 EXISTING PCC SIDEWALK TO BE REMOVED & REPLACED.
- 10 EXISTING CURB & GUTTER TO REMAIN.
- 11 EXISTING FIRE HYDRANT TO REMAIN.
- 12 EXISTING PCC ALLEY APRON TO REMAIN.
- 13 EXISTING UTILITY POLE TO REMAIN. PROTECT IN PLACE.
- 14 EXISTING RETAINING WALL TO REMAIN.
- 15 PROPOSED 3" DOMESTIC WATER SERVICE, METER, AND BACKFLOW PER CITY OF OCEANSIDE STD DWG W-10, W-13, W-19, & W-20.
- 16 PROPOSED 4" FIRE SERVICE WITH DDCVA PER CITY OF OCEANSIDE STD DWG W-14.
- 17 PROPOSED 6" PVC SEWER LATERAL WITH CLEANOUT PER CITY OF OCEANSIDE STD DWG S-3.
- 18 EXISTING WATER METER SERVICE & METER TO BE ABANDONED PER CITY OF OCEANSIDE STANDARDS.
- 19 EXISTING SDGE SERVICE TO BE REMOVED PER SEPARATE WORK ORDER.
- 20 PROPOSED BIOFILTRATION PLANTER. SEE DETAIL, THIS SHEET.
- 21 PROPOSED 3" WIDE RIBBON GUTTER. SEE DETAIL, THIS SHEET.
- 22 FULL WIDTH AC REMOVAL & REPLACEMENT ALLEY IMPROVEMENTS.
- 23 PROPOSED TRANSFORMER & PAD PER SEPARATE SDGE WORK ORDER.
- 24 PROPOSED ANGLED PARKING STALL STRIPE PER CITY STANDARDS.
- 25 PROPOSED PCC HARDSCAPE (PRIVATE).
- 26 PROPOSED WALL PER ARCHL PLAN.
- 27 PROPOSED STAIR & HANDRAIL PER ARCHL PLAN.
- 28 PROPOSED 1.5" COMMERCIAL WATER METER SERVICE, METER, AND BACKFLOW PER CITY OF OCEANSIDE STD DWG W-5, W-12.
- 29 PROPOSED 3" SIDEWALK UNDERDRAIN FOR TREATED BMP DISCHARGE PER SDRSD D-27.
- 30 PROPOSED CURB OUTLET FOR TREATED BMP DISCHARGE PER SDRSD D-25A (MODIFIED).
- 31 PROPOSED VEHICULAR ACCESS. SEE ARCHL PLAN.
- 32 PROPOSED 18" WIDE CURB CUT FOR TREE WELL BMP.
- 33 PROPOSED 5x18" TREE WELL BMP W/ CONCRETE COLLAR. SEE DETAIL, THIS SHEET.



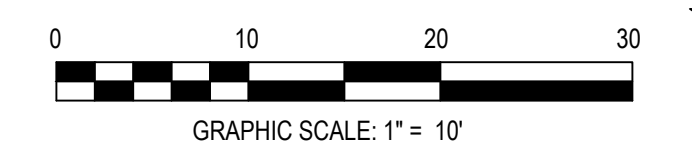
SITE NOTES

1. EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE. IF MONUMENT IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
2. ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF DISCREPANCIES UPON DISCOVERY.
3. ALL SIDEWALK SECTION REPLACEMENTS SHALL BE MADE AT NEAREST EXISTING CONSTRUCTION JOINTS EITHER SIDE OF REPLACEMENT; SAWCUTTING NEW JOINTS IS NOT ALLOWED. ALL SIDEWALK PANEL REPLACEMENTS SHALL MATCH EXISTING SIDEWALK PATTERN.

SITE PLAN
SCALE: 1" = 10'

CONDOMINIUM NOTE

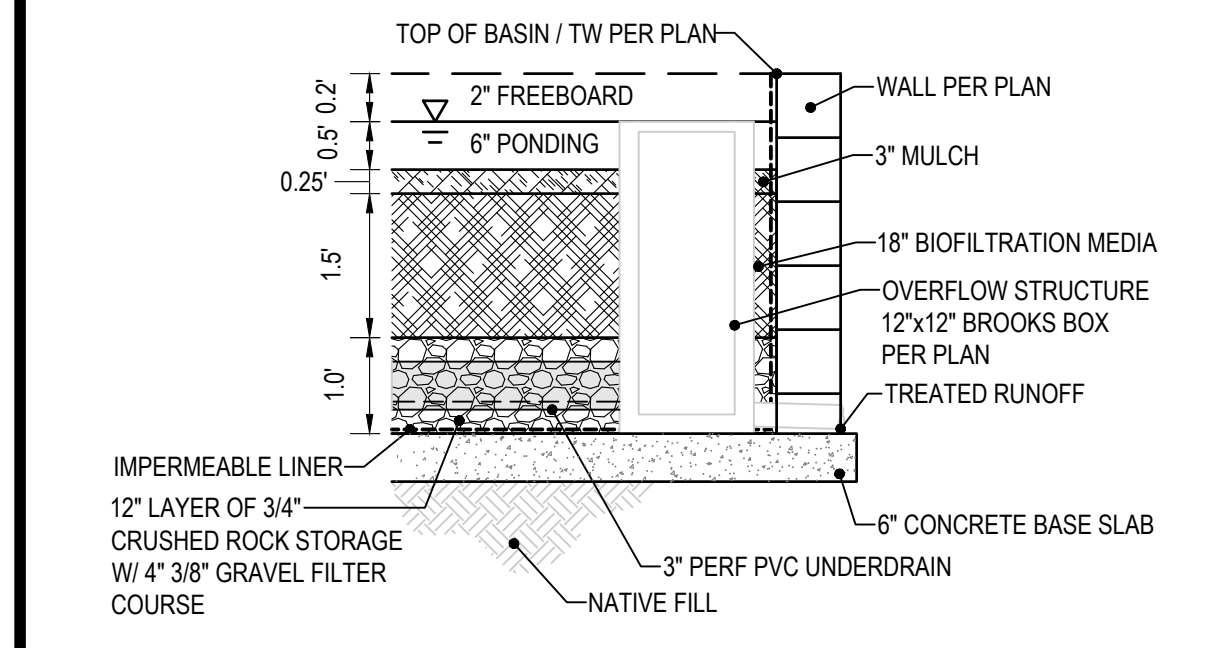
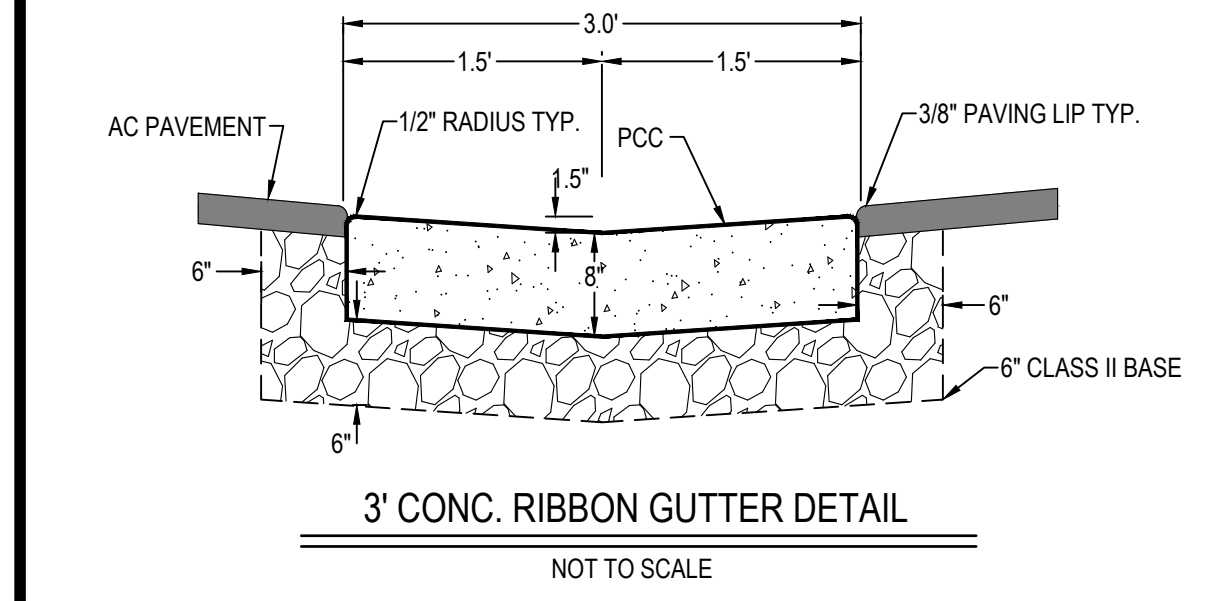
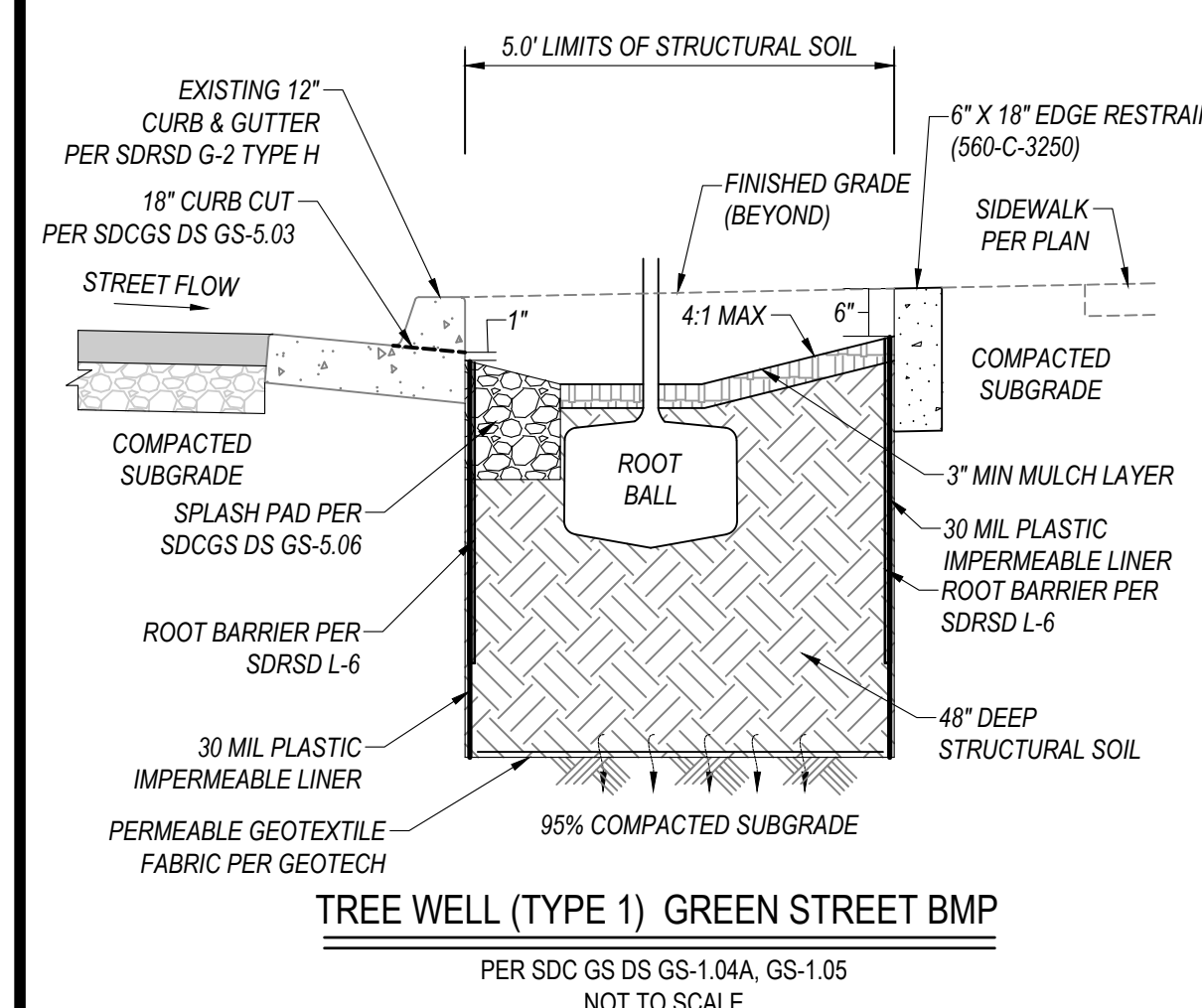
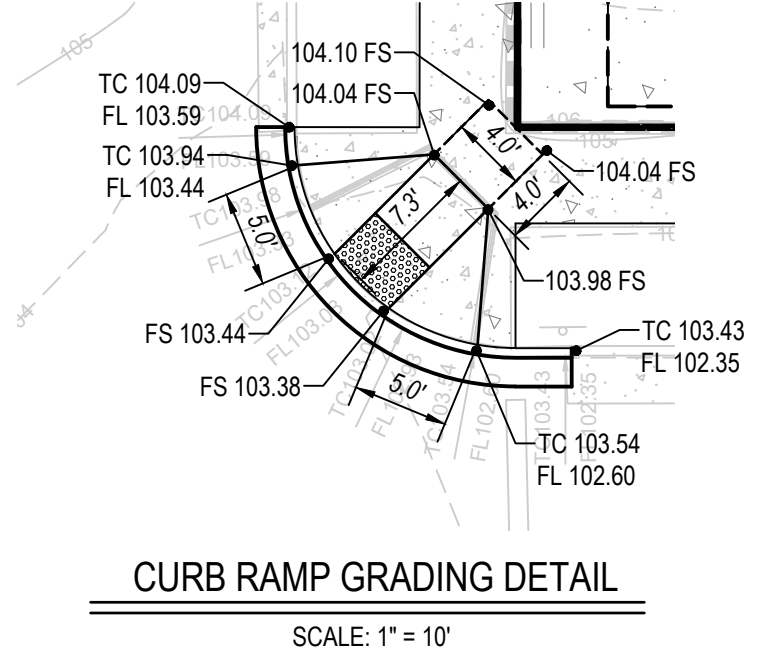
THIS IS A MAP OF AN AIRSPACE CONDOMINIUM SUBDIVISION PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA, AND IS PURSUANT TO THE SUBDIVISION MAP ACT. THIS PROJECT IS COMPROMISED OF A ONE LOT CONDOMINIUM SUBDIVISION AND CONTAINS A MAXIMUM OF 1 COMMERCIAL CONDOMINIUM UNITS AND 1 RESIDENTIAL CONDOMINIUM UNITS.



ENGINEER OF WORK

TYLER LAWSON, PE # 80356 DATE

PREPARED BY:
PASCO LARET SUITER
& ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com



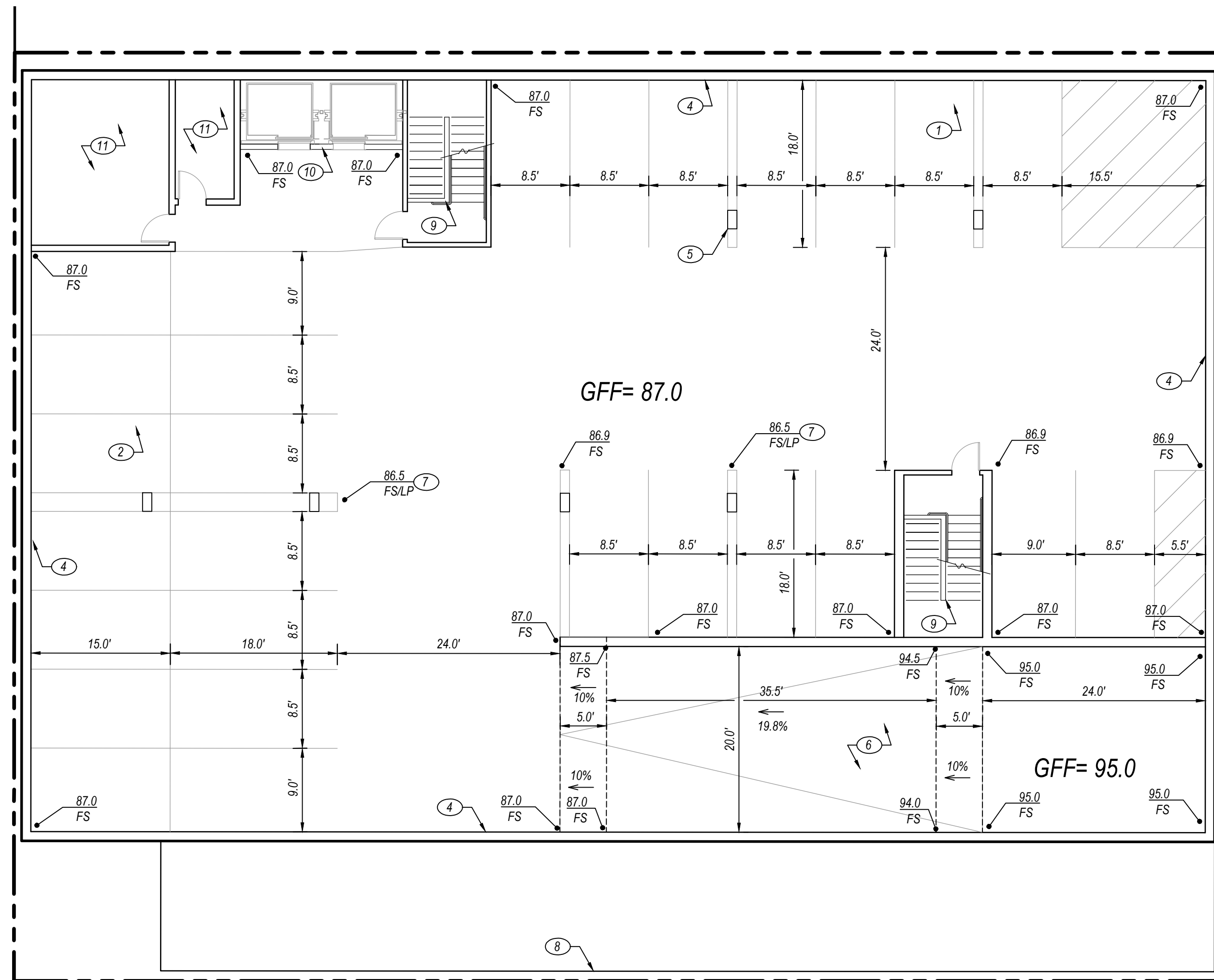
* BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 18" DEEP PER COUNTY OF SAN DIEGO LOW IMPACT DEVELOPMENT HANDBOOK: APPENDIX G - BIORETENTION SOIL MEDIA (BSM) EXAMPLE SPECIFICATION.

** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 6" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE DETAIL. THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION. TYPICALLY, THE SURFACE AREA OF THE BIORETENTION BASIN IS 4% OF THE IMPERVIOUS AREA DRAINING TO IT. ALL BIORETENTION PLANTERS TO BE DEPRESSED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE.

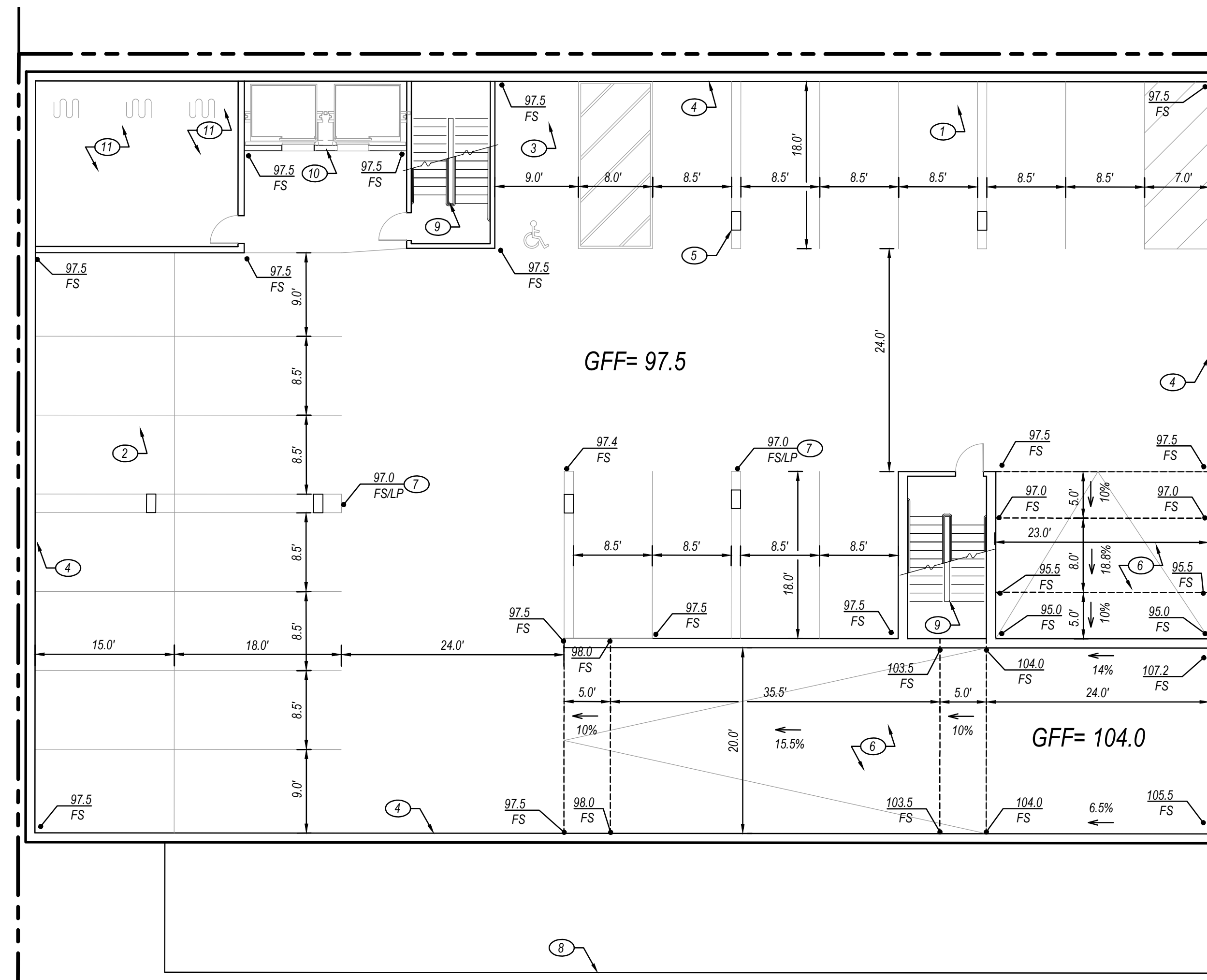
BIORETENTION AREA DETAIL
NOT TO SCALE

NOTE: BMPs ARE TO BE PRIVATELY MAINTAINED AND THE FACILITIES NOT MODIFIED OR REMOVED WITHOUT A PERMIT FROM THE CITY.

RD22-00002
PRELIMINARY GRADING PLAN FOR:
901 PIER VIEW WAY



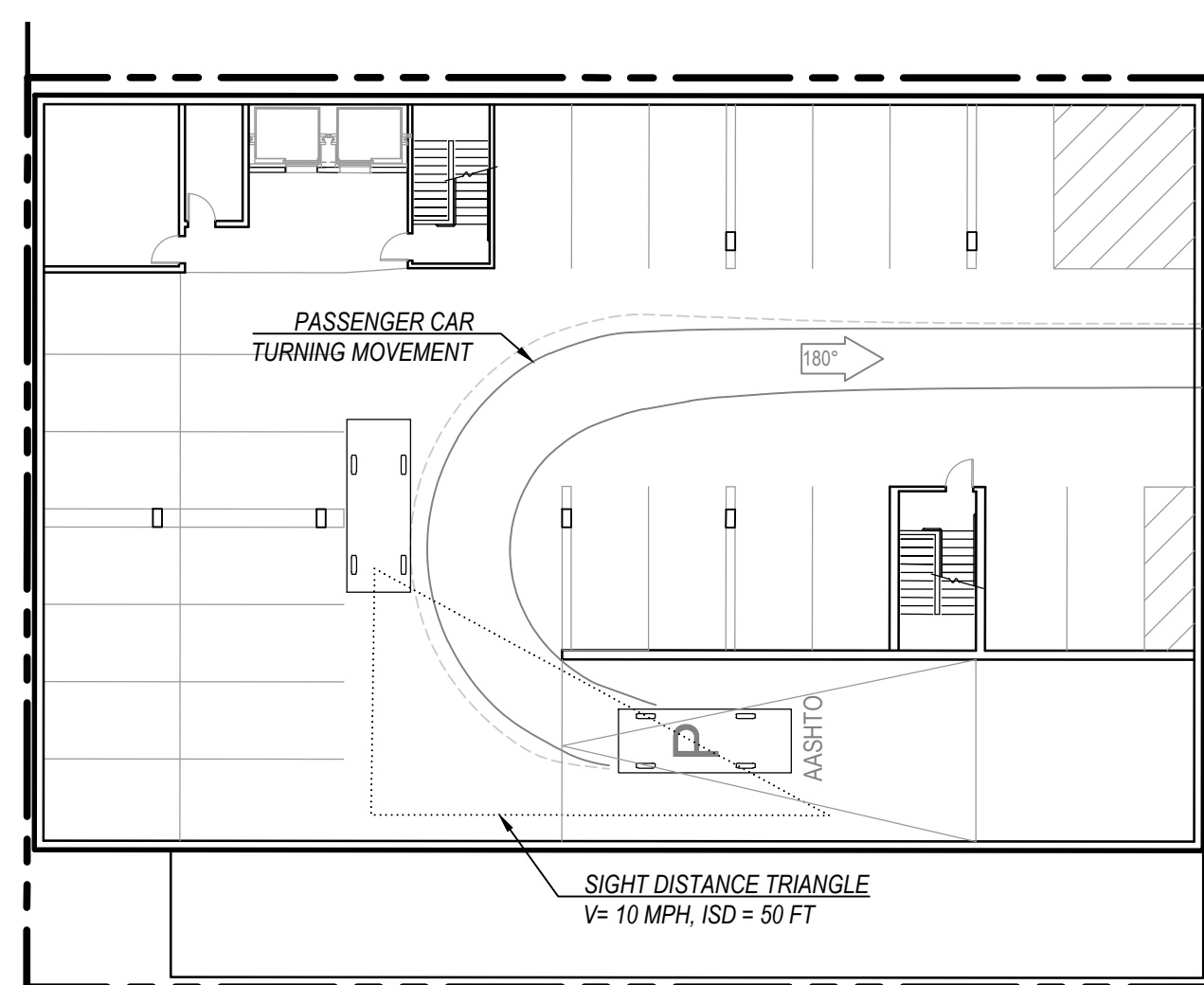
P3 SITE PLAN - BOTTOM FLOOR (SLAB ON GRADE)
SCALE: 1" = 10'



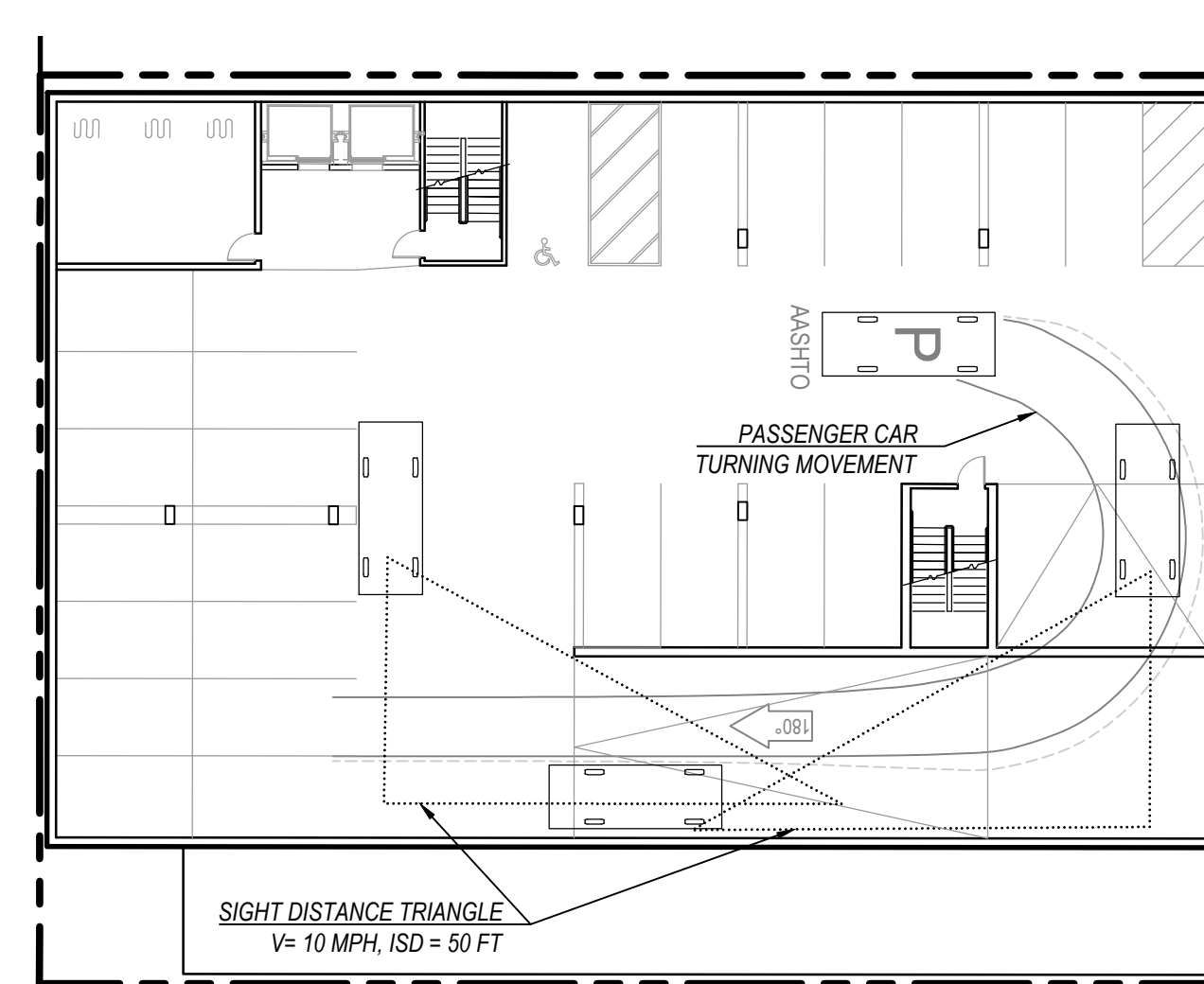
P2 SITE PLAN (FOR REFERENCE ONLY)
SCALE: 1" = 10'

CONSTRUCTION NOTES

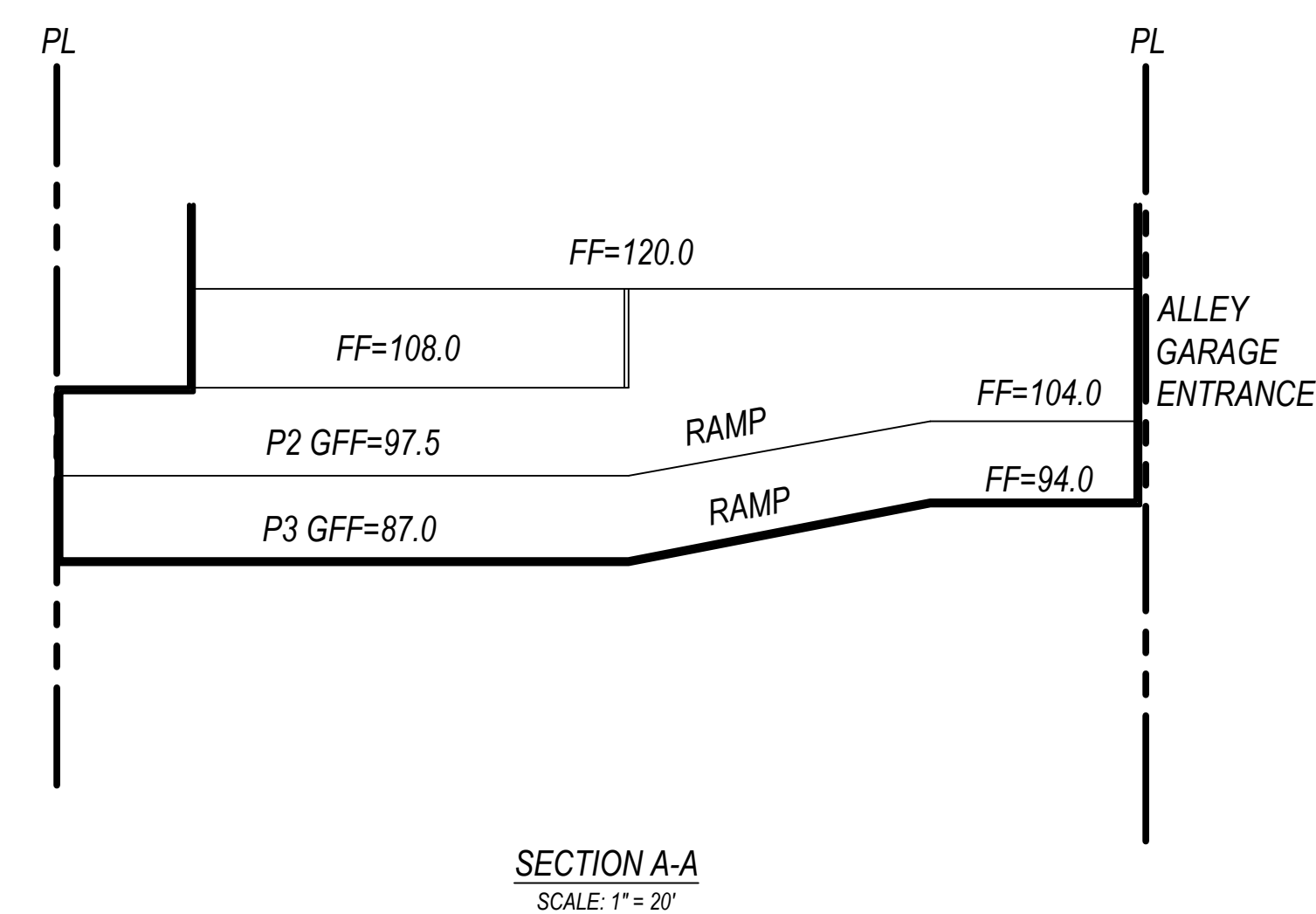
- ① PROPOSED PARKING STALL PER ARCHL PLAN (TYP)
- ② PROPOSED TANDEM PARKING STALL PER ARCHL PLAN (TYP)
- ③ PROPOSED ADA STALL PER ARCHL PLAN
- ④ PROPOSED STRUCTURAL WALL
- ⑤ PROPOSED COLUMN (TYP)
- ⑥ PROPOSED GARAGE RAMP, 20% MAX SLOPE
- ⑦ PROPOSED LOW POINT W/ AREA DRAIN. ROUTE TO SEWER.
- ⑧ PROPOSED LIMIT OF GROUND FLOOR, ABOVE.
- ⑨ PROPOSED STAIR PER ARCHL PLAN
- ⑩ PROPOSED ELEVATOR PER ARCHL PLAN
- ⑪ PROPOSED ROOM PER ARCHL PLAN



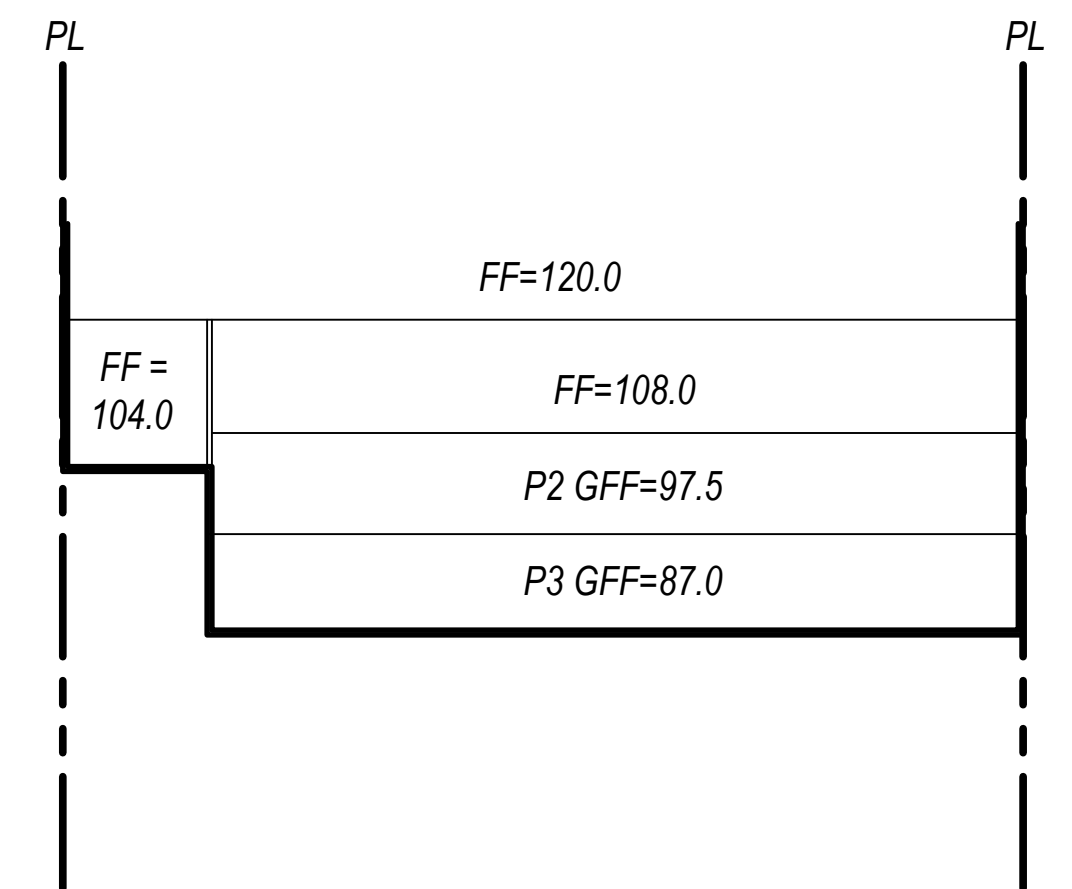
P3 ACCESS DETAIL
SCALE: 1" = 10'



P2 ACCESS DETAIL
SCALE: 1" = 10'



SECTION A-A
SCALE: 1" = 20'



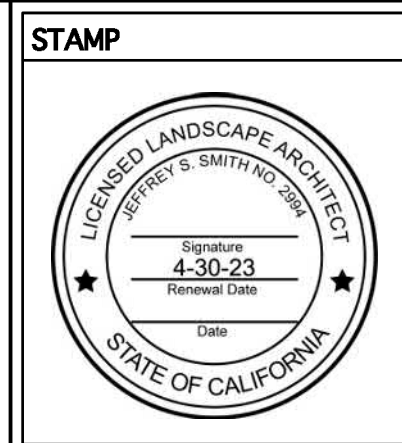
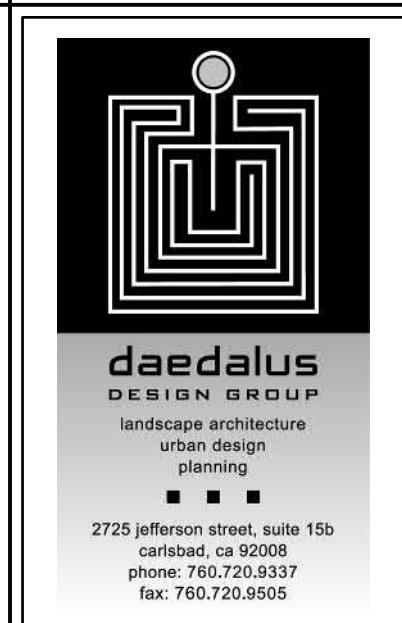
SECTION B-B
SCALE: 1" = 20'

ENGINEER OF WORK

PREPARED BY:
PASCO LARET SUITER
& ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

TYLER LAWSON, PE # 80356

DATE



PROJECT
PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA

DATE: 05-21-22
SCALE: SEE DRAWINGS
DRAWN BY: JSS
CHECKED BY: JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 1ST PASS	6/1/22
PRELIMINARY PLAN SUBMITTAL 2ND PASS	9/26/22
PRELIMINARY PLAN SUBMITTAL 3RD PASS	12/15/22

REVISIONS	DATE
1	
2	
3	
4	

SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN - FIRST FLOOR

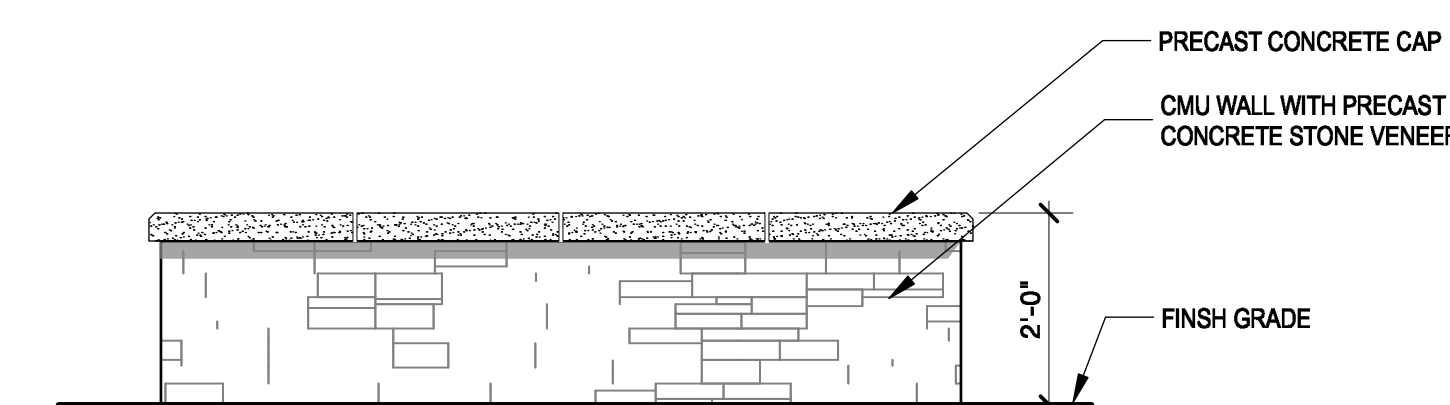
PROJECT NO.: 22-005

SHEET: L-1

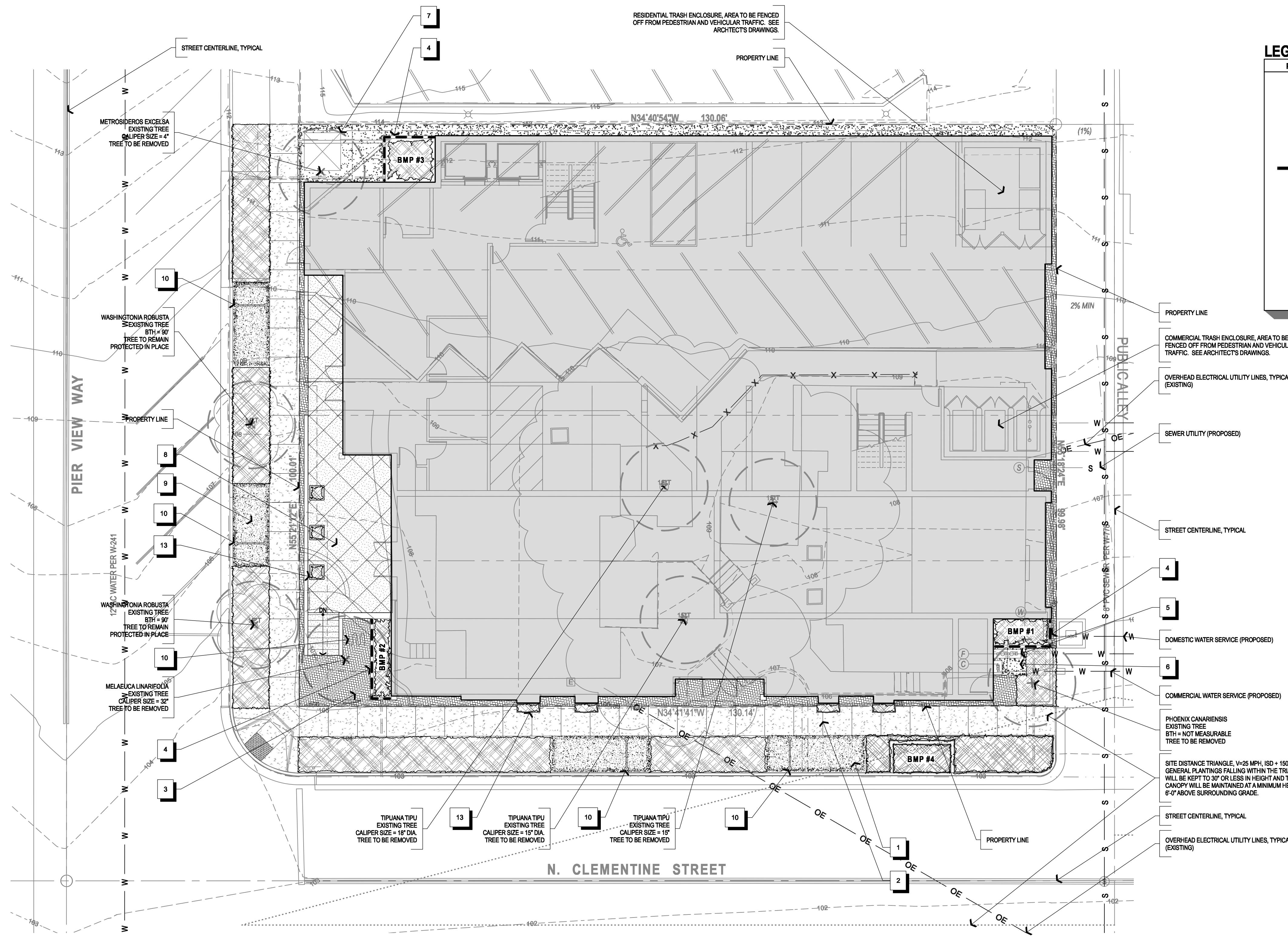
OF 4 SHEETS

LEGEND / KEY NOTES

PLAN SYMBOL	DESCRIPTION	PLAN SYMBOL	DESCRIPTION
[Symbol 1]	1 PLANTING AREA, TYPICAL (PROPOSED)	[Symbol 10]	10 BIKE RACK (PROPOSED), PLANTERS HAVE BEEN PLACED ADJACENT TO THESE AREAS IN ORDER TO SOFTEN THEIR APPEARANCE.
[Symbol 2]	2 CITY SIDEWALK, PRODUCTION GRAY CONCRETE (EXISTING)	[Symbol 11]	11 WATERPROOF DECKING SURFACE (PROPOSED)
[Symbol 3]	3 ENHANCED PAVING #1, MODULAR PAVERS, MEDIUM TAN, PATTERN TO BE HARRINGBONE (PROPOSED)	[Symbol 12]	12 OUTDOOR SEATING & FIRE PIT (PROPOSED)
[Symbol 4]	4 RAISED PLANTER BMP STRUCTURE, SEE DETAIL AL-1 (PROPOSED)	[Symbol 13]	13 PORTABLE PLANTERS (PROPOSED)
[Symbol 5]	5 FIRE WATER SERVICE (PROPOSED)	DN →	STEP DOWN
[Symbol 6]	6 PEA GRAVEL PAVING, TAN/BROWN/GRAY BLEND (PROPOSED)		
[Symbol 7]	7 ELECTRICAL TRANSFORMER (PROPOSED)		
[Symbol 8]	8 ENHANCED PAVING #2, COLORED ETCHED CONC, LIGHT TAN, PATTERN, SEE DRAWING (PROPOSED)		
[Symbol 9]	9 DECOMPOSED GRANITE PAVING, LIGHT TAN (PROPOSED)		

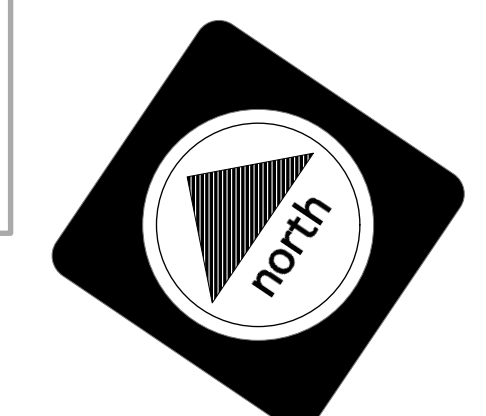
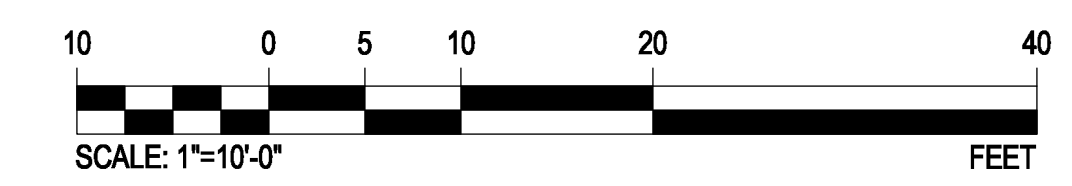


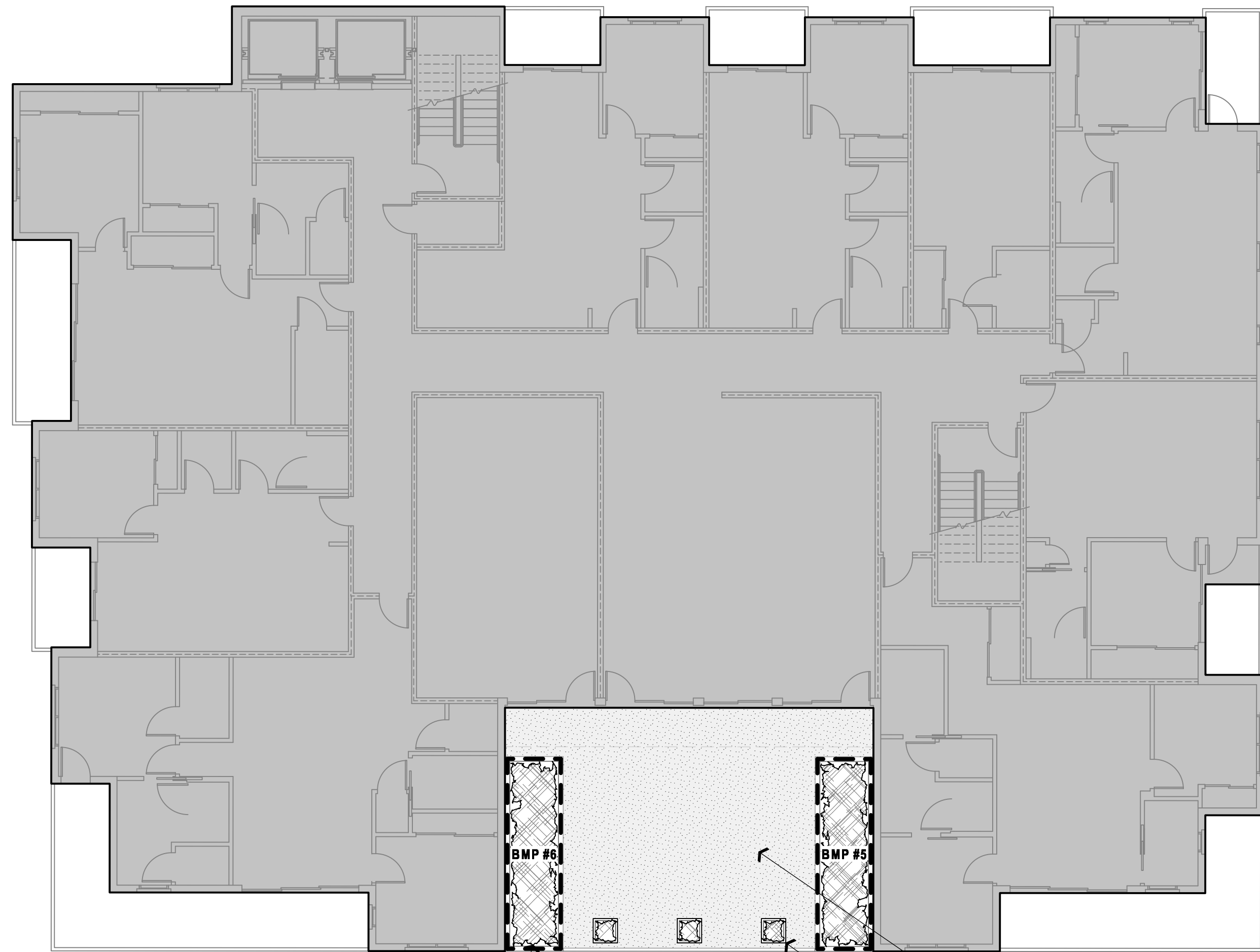
A
L-1
RAISED PLANTER WALLS
Scale: 1/2" = 1'-0"



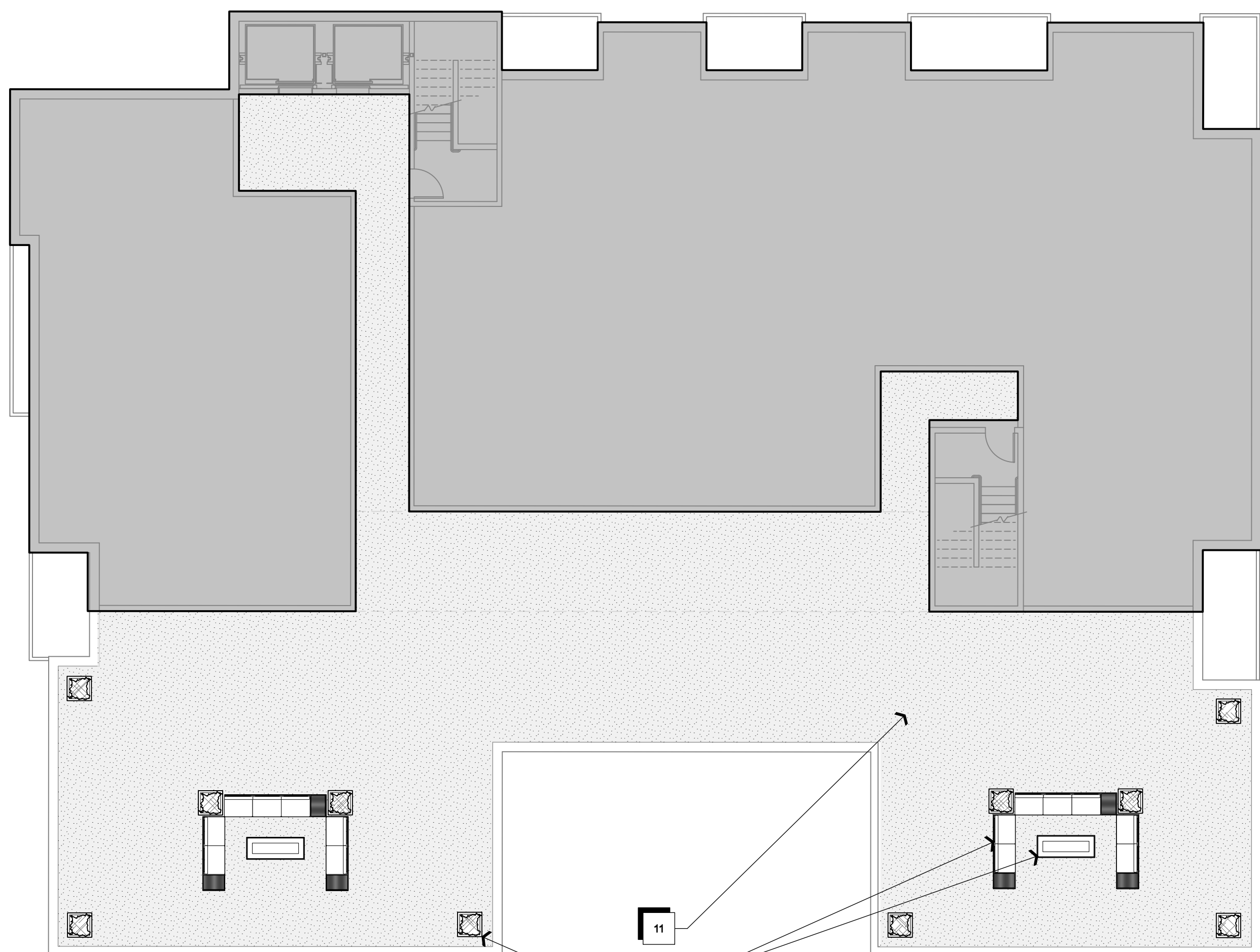
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Scale: 1" = 10'-0"

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION





1 SECOND FLOOR PLAN
Scale: 1" = 10'-0"

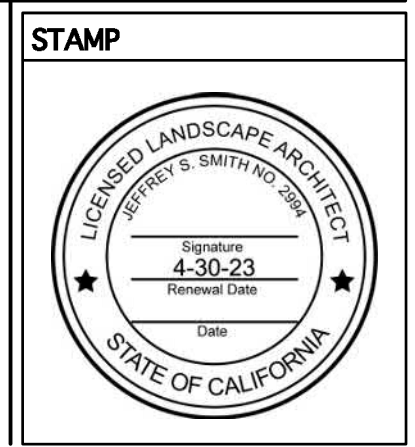


2 ROOF PLAN
Scale: 1" = 10'-0"

LEGEND / KEY NOTES

PLAN SYMBOL	DESCRIPTION	PLAN SYMBOL	DESCRIPTION
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	2 CITY SIDEWALK, PRODUCTION GRAY CONCRETE (EXISTING)		11 WATERPROOF DECKING SURFACE (PROPOSED)
	3 ENHANCED PAVING #1, MODULAR PAVERS, MEDIUM TAN, PATTERN TO BE HARRINGBONE (PROPOSED)		12 OUTDOOR SEATING & FIRE PIT (PROPOSED)
	4 RAISED PLANTER BMP STRUCTURE, SEE DETAIL AL-1 (PROPOSED)		13 PORTABLE PLANTERS (PROPOSED)
	5 FIRE WATER SERVICE (PROPOSED)		DN → STEP DOWN
	6 PEA GRAVEL PAVING, TAN/BROWN/GRAY BLEND (PROPOSED)		
	7 ELECTRICAL TRANSFORMER (PROPOSED)		
	8 ENHANCED PAVING #2, COLORED ETCHED CONC. LIGHT TAN, PATTERN, SEE DRAWING (PROPOSED)		
	9 DECOMPOSED GRANITE PAVING, LIGHT TAN (PROPOSED)		

ENTITLEMENT CODES
RD22-00002
RP22-00001
DB22-00007



PROJECT
PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA

DATE: 05-21-22
SCALE: SEE DRAWINGS
DRAWN BY: JSS
CHECKED BY: JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 1ST PASS	6/1/22
PRELIMINARY PLAN SUBMITTAL 2ND PASS	9/26/22
PRELIMINARY PLAN SUBMITTAL 3RD PASS	12/15/22

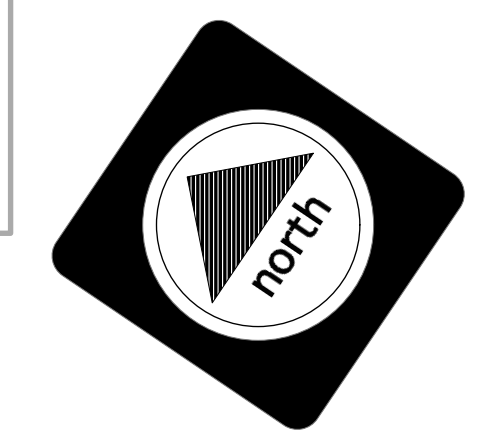
REVISIONS	DATE
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SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN - SECOND FLOOR & ROOF

PROJECT NO.: 22-005

SHEET: **L-2**
OF 4 SHEETS

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION



12/15/22 2022-05-02_901 Pier View_S2/DD_V2022.rvt

SITE LANDSCAPE COVERAGE = 5.6% (738 S.F.)

GENERAL NOTES:

- FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
- LANDSCAPE ARCHITECT SHALL VERIFY UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF OCEANSIDE REQUIREMENTS.
- ALL STREET TREES SHALL COMPLY WITH THE CITY OF OCEANSIDE APPROVED STREET TREES AND STANDARD DETAIL 211A.
- ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVED SURFACES WHERE PAVING SURFACE IS LOCATED WITHIN 6 FEET OF A TREE TRUNK ON SITE (PRIVATE) AND WITHIN 10 FEET OF TREE TRUNK IN THE RIGHT-OF-WAY (PUBLIC). ROOT BARRIERS SHALL EXTEND 5 FEET IN EACH DIRECTION FROM THE CENTERLINE OF THE TRUNK FOR A TOTAL DISTANCE OF 10 FEET. ROOT BARRIERS SHALL BE 24 INCHES IN DEPTH. INSTALLING A ROOT BARRIER AROUND THE TREE'S ROOT BALL IS UNACCEPTABLE.
- ALL PRIVATE (ON-SITE) AND PARKWAYS WITHIN THE PUBLIC ROW ALONG PIER VIEW WAY AND N. CLEMENTINE STREET ARE TO BE MAINTAINED BY THE PROJECT'S OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER THE CITY OF OCEANSIDE'S REQUIREMENTS.

IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES AND WATER CONSERVATION ORDINANCE.

PLANTING NOTE:

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE DRIVEN CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPORATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A DEPTH OF 3" TO HELP CONSERVE WATER, LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES.

FIRE NOTES:

- LANDSCAPE IMPROVEMENT PLAN SET AND INSTALLATION ARE REQUIRED TO IMPLEMENT APPROVED FIRE DEPARTMENT REGULATIONS, CODES, AND STANDARDS AT THE TIME OF THE PROJECT APPROVAL.
- ALL FIRE HYDRANTS, DOUBLE CHECK DETECTORS, POST INDICATING VALVES AND FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED WITH A 3-FOOT CLEARANCE AROUND ALL FIRE APPARATUS.
- ALL TREES AT MATURITY SHALL MEET A HORIZONTAL CLEARANCE ALONG ALL ROADWAYS FROM CURB TO CURB. HORIZONTAL ROADWAY CLEARANCE FOR A ONE-STORY BUILDING IS 28-FEET WIDE.
- ALL TREES AT MATURITY SHALL MEET A VERTICAL CLEARANCE OF 14-FEET FROM THE TOP OF THE ROADWAY TO THE LOWEST BRANCHES.

DRAINAGE / STORMWATER MANAGEMENT NOTE:

ALL DRAINAGE STRUCTURES SUCH AS SWALES, PIPING, AND BMPs SHALL BE SHOWN ON THE CIVIL ENGINEER'S PLAN AND WILL BE ACCOMMODATED FOR ON THE APPROVED LANDSCAPE PLANS.

GENERAL MAINTENANCE AND COMPLIANCE WITH URBAN FORESTRY REQUIREMENTS ORDINANCE CODE 3049

THE PRIVATE PROPERTY OWNER SHALL MAINTAIN ALL PRIVATE LANDSCAPE AREAS, PROPOSED BMPs, AND ANY LANDSCAPE IMPROVEMENTS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY. THIS PROJECT WILL COMPLY WITH ORDINANCE CODE 3049, THE URBAN FORESTRY PROGRAM. THE GENERAL MAINTENANCE PROGRAM WILL CONSIST OF REGULAR, SEASONAL, AND EMERGENCY MAINTENANCE, TRASH AND WEED ABATEMENT, IRRIGATION SYSTEM REPAIRS, TREE GENERAL PLANT CARE, TREE REPLACEMENT, AND PEST AND PLANT DISEASE MANAGEMENT. FAILURE TO COMPLY WITH THIS MAINTENANCE PROGRAM AND THE APPROVED LANDSCAPE TREE MANAGEMENT PLAN IN A CONSISTENT MANNER SHALL SUBJECT THE PROJECT TO CODE ENFORCEMENT ACTION BY THE CITY OF OCEANSIDE.

TREE PROTECT IN PLACE STATEMENT:

NO MECHANICAL GRADING OPERATIONS ARE TO TAKE PLACE TO CAUSE A CHANGE IN GRADE OR ELEVATION AROUND THE BASE OF THE TREES OR WITHIN THE DEFINED LIMITS OF THE TREE'S DRIP RING. NO MECHANICAL EQUIPMENT OR TRENCHING ARE TO TAKE PLACE WITHIN THE LIMITS OF THE TREE'S DRIP RING IN ORDER TO NOT DISTURB THE ROOT SYSTEM. NO EXCESSIVE PRUNING OF THE TREE BRANCHES IS TO TAKE PLACE TO WHERE IT WOULD CAUSE HARM TO THE TREE OR IMPACT THE OVERALL APPEARANCE OF THE TREE. PROVIDE A PHYSICAL BARRIER AROUND THE DRIP LINE OF THE TREE TO ELIMINATE INJURY TO THE TREE TRUNK AND COMPACTION OF THE SOIL. IN THE CASE OF ANY OF THE EXISTING TREES ARE DAMAGED OR DESTROYED BY THE CONSTRUCTION ACTIVITIES, THE OWNER SHALL REPLACE THE TREE IN KIND AND OF THE SAME SIZE TREE CALIPER AS IS REASONABLE FOR THE LOCATION OF THE PREVIOUS TREE.

ADA STATEMENT:

ALL PEDESTRIAN PAVING BOTH DECORATIVE AND STANDARD SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE AMERICAN DISABILITY ACT.

STREET TREES AND OTHER TREES SHALL BE SPACED

- 8 FEET (PREVIOUSLY 3 FEET) FROM TRANSFORMERS, CABLE, AND PULL BOXES
- 5 FEET FROM MAILBOXES
- 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
- 10 FEET FROM CENTERLINE (PREVIOUSLY 7 FEET) OF ALL UTILITY LINES (WITHOUT EASEMENT) (SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTORS, AIR RELIEF VALVES AND GAS)
- 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
- 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE).
- 10 FEET FROM TRAFFIC AND DIRECTIONAL SIGNS.
- 15 FEET (MINIMUM) FROM STREET LIGHTS, OTHER UTILITY POLES (DETERMINED BY SPECIFICATIONS).
- STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY TRAFFIC ENGINEER. A MINIMUM OF TWENTY-FIVE FEET (25') FROM STREET INTERSECTIONS OR AS APPROVED BY THE TRAFFIC ENGINEER.
- MINIMUM FIFTEEN FEET (15') STREETLIGHT AND STOP SIGN OR CLARENCE DETERMINED BY SPECIFICATIONS.
- SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.

MINIMUM TREE CANOPY AND PERMEABLE SURFACE AREA REQUIREMENTS

PROJECT SITE AREA	MINIMUM TREE CANOPY AREA	MINIMUM PERMEABLE SURFACE AREA
ONE ACRE OR MORE	12%	22%
1/3 ACRE TO 1 ACRE	9%	16%
LESS THAN 1/3 ACRE	7%	10%

1 FIRST FLOOR PLAN
Scale: 1" = 10'-0"

URBAN FORESTRY PROGRAM COMPLIANCE CALCULATIONS PER OCEANSIDE MUNICIPAL CODE #3049

TREE CANOPY AREA

DESCRIPTION	CANOPY DIA. (FT)	CANOPY (SF)	TREE QUANTITY	EXTENSION (SF.)
PUBLIC RIGHT OF WAY (PIER VIEW WAY)	100"	79	3	237
PUBLIC RIGHT OF WAY (N. CLEMENTINE ST.)	200"	314	3	942
PORTABLE PLANTERS	80"	50	16	800
TOTAL SQUARE FOOTAGE OF PROPOSED TREE CANOPY AREA				1,979
PROPOSED CANOPY AREA PERCENTAGE OF PROJECT SITE AREA (.30 ACS) @ 13,249 SF.				15.0%

NOTE: INFORMATION FOR MATURE TREE CANOPY SIZES PER SPECIFIC TREE SPECIES WAS OBTAINED FROM THE UFEI SELECT TREE WEBSITE FROM CALIFORNIA POLYTECHNIC STATE UNIVERSITY. [HTTPS://SELECTTREE.CALPOLY.EDU](https://selecttree.calpoly.edu)

PERMEABLE SURFACE AREA

DESCRIPTION	LANDSCAPE AREA (SF.)
PRIVATE LANDSCAPE AREA (ORGANIC AND INORGANIC MATERIALS)	738
PUBLIC ROW LANDSCAPE AREA (ORGANIC AND INORGANIC)	1,449
TOTAL PERMEABLE SURFACE AREA	2,187
PROJECT SITE AREA 13,249 S.F. (.30 AC)	13,249
PERMEABLE SURFACE AREA PERCENTAGE	16.5%

✳ FOR PLANTING PALETTE, SEE SHEET L-4

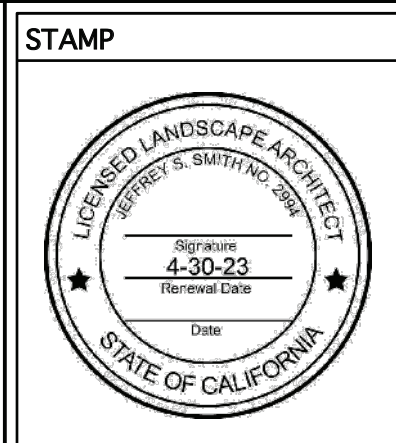
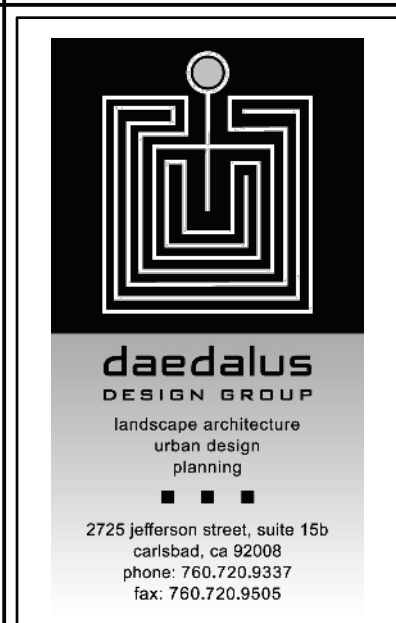
TREE MITIGATION CALCULATION

EXISTING TREES INCLUDED IN THIS CALCULATION MEET THE MINIMUM SIZE STANDARD OF 8" DBH

TREE TYPE	NUMBER OF TREES	TOTAL BTH AND DBH (INCHES)
EXISTING TREES		
CANOPY TREES	4	80"
PALM TREES	0	0
TOTAL	4	80"
PROPOSED REPLACEMENT TREES		
CANOPY TREES (48" BOX)	3	16.5"
CANOPY TREE (24" BOX)	16	40"
PALM TREES	1	20"
TOTAL	4	76.5"
SURPLUS OR DEFICIT TOTAL		3.5"

ENTITLEMENT CODES

RD22-0002
RP22-00001
DB22-00007



PROJECT
PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA

DATE: 05-21-22
SCALE: SEE DRAWINGS
DRAWN BY: JSS
CHECKED BY: JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 1ST PASS	6/1/22
PRELIMINARY PLAN SUBMITTAL 2ND PASS	9/26/22
PRELIMINARY PLAN SUBMITTAL 3RD PASS	12/15/22

REVISIONS	DATE
1	
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SHEET TITLE
CONCEPTUAL PLANTING PLAN - FIRST FLOOR

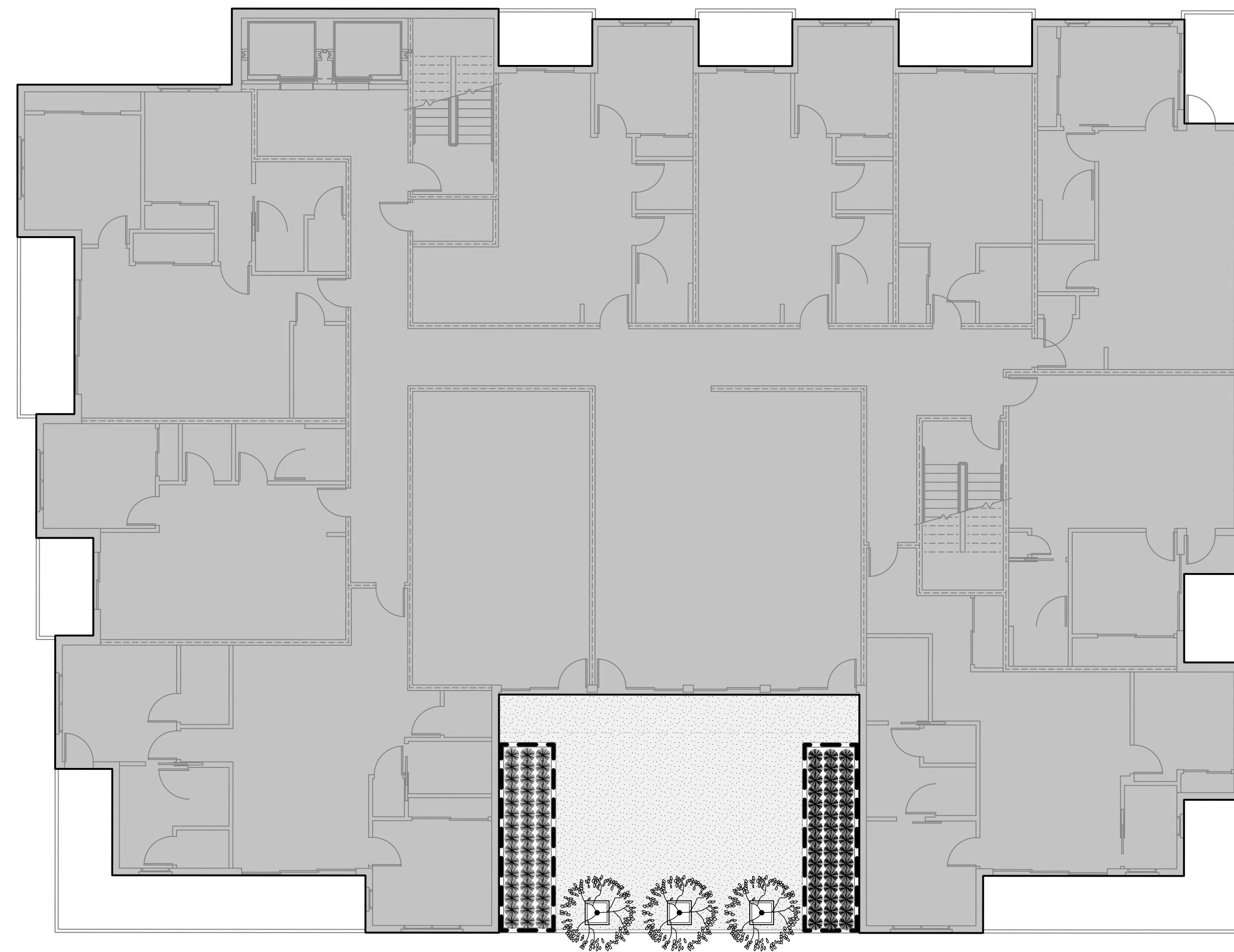
PROJECT NO.: 22-005

SHEET: **L-3**

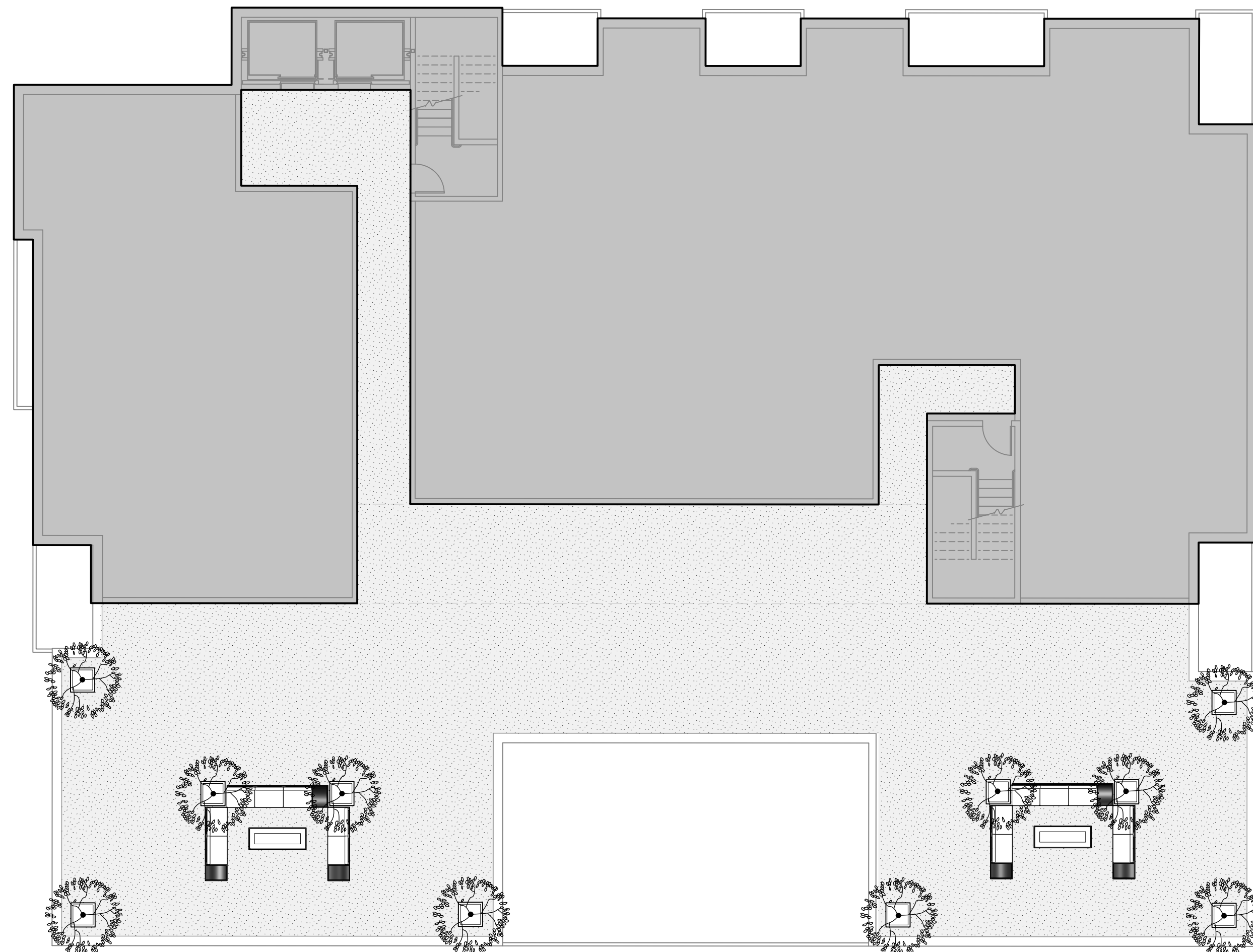
OF 4 SHEETS

PROGRESS SUBMITTAL NOT FOR CONSTRUCTION

1/18/23 2022-05-02_901 Pier-View_9D/DP_V2022.rvt



1 SECOND FLOOR PLAN
Scale: 1" = 10'-0"

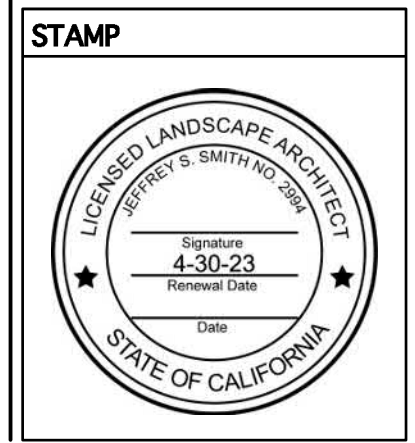


2 ROOF PLAN
Scale: 1" = 10'-0"

PROPOSED PLANTING PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES - Street			
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	20' BTH
	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	48" BOX
TREES - Portable Planters			
	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY TREE	24" BOX
	ERIBOTRYA JAPONICA 'COPPERTONE'	COPPERTONE LOQUAT	24" BOX
SHRUBS - Low Level Accent			
	MYRTUS COMMUNIS 'COMPACTA VERIGATA'	DWARF VARIGATED MYRTLE	5 GAL.
	PITOSPORUM CRASSIFOLIUM 'COMPACTUM'	NO COMMON NAME	5 GAL.
	RUSSELLIA EQUISETIFORMIS	FIRE CRAKER BROOM	5 GAL.
	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	1 GAL.
	NANDINA DOMESTICA 'HARBOR DWARF'	DWARF HEAVENLY BAMBOOQ	5 GAL.
	JATROPHA INTEGERRIMA	PEREGINA	5 GAL.
	PHILODENDRON XANADU	WINTERBOURN PHILODENDRON	5 GAL.
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL.
	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA (ESPAIER FORM)	15 GAL.
FLOWERING PERENNIALS			
	LIMONIUM PEREZII	STATICE	1 GAL.
	CLIVIA MINIATA	KAFIR LILY	1 GAL.
	TRADESCANTIA PALLIDA	PURPLE HEART	1 GAL.
	TRADESCANTIA SPATHACEA	BOAT LILY	1 GAL.
GRASSES & GRASS LIKE - Large and Small Scale			
	DIANELLA TASMUNICA VARIEGATA'	FLAX LILY	1 GAL.
	ASTELIA 'SILVER SHADOW'	SILVER SHADOW ASTELIA	1 GAL.
	LOMANDRA LONGIFOLIA 'NYALLA	NYALLA MAT RUSH	1 GAL.
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL.
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL.
CACTUS & SUCCULENTS			
	AEONIUM SPP.	NO COMMON NAME	1 GAL.
	ALOE SPP.	NO COMMON NAME	1 GAL.
	COTYLEDON SP.	NO COMMON NAME	1 GAL.
	SENECIO VITALIS	BUSH BLUE PICKLE	1 GAL.
	CRASSULA MULTICAEVA	EMERALD JADE CARPET	1 GAL.
	ECHERERIA SPP.	NO COMMON NAME	1 GAL.
BMP PLANTINGS			
	ACHILLEA MILLEFOLIUM	YARROW	1 GAL.
	JUNCUS MEXICANA	MEXICAN RUSH	1 GAL.
GROUND COVERS			
	KURAPIA	KURAPIA	SOD
	DECOMPOSED GRANITE		
	3/8" DIA. PEA GRAVEL		

ENTITLEMENT CODES
RD22-00002
RP22-00001
DB22-00007



PROJECT
PIER VIEW MIXED USE
901 PIER VIEW WAY
OCEANSIDE, CALIFORNIA

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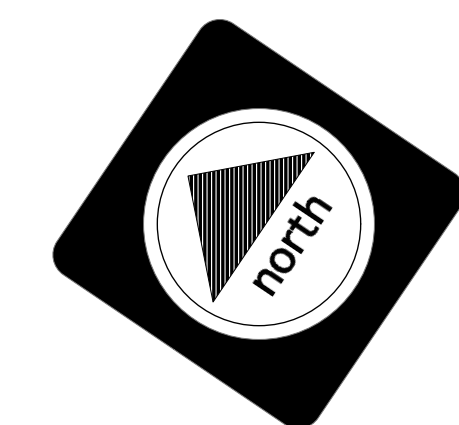
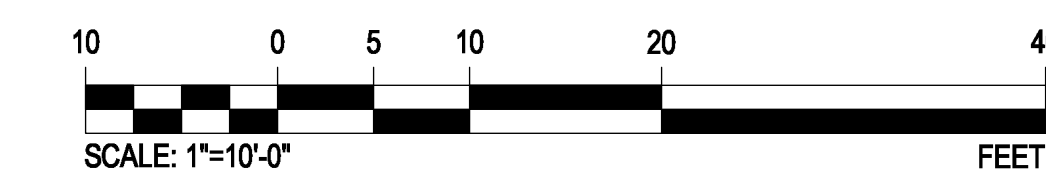
SHEET TITLE
CONCEPTUAL PLANTING PLAN - SECOND FLOOR & ROOF

PROJECT NO.: 22-005

SHEET: L-4

OF 4 SHEETS

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION





4429 Morena Boulevard
San Diego, California 92117
858.581.2250

December 7, 2022

Fidelis Advisors
Attention: Will Winkenhofer

Re: 901 Pier View Way, Oceanside – Overhead Conversion

Mr. Winkenhofer

We have examined the costs associated with undergrounding the existing overhead electrical and communication utilities on the adjacent streets of the 901 Pier View Way Project. This cost opinion provides an identifiable cost associated with the undergrounding. This cost opinion includes utility fees & labor, sub structures, & contractor costs associated with the undergrounding.

Notes:

- Undergrounding the existing electrical lines would require the removal of 3 poles and 2 pole top transformers. The transformers would need to be converted to pad mounted structures and placed on the new property. SDG&E would classify these transformers as R15 and require an easement since they would serve offsite customers. Significant adjustments would need to be made to the site to accommodate these transformers.
- SDG&E would set a new cable pole in the alley way to the west to connect the conversion to their existing overhead system.
- The existing alleyway is approximately 19' wide. With the existing wet utilities in place there is not enough space to create a new joint trench for the conversion while meeting city clearance requirements. It would require a deviation from SDG&E to dig alongside the existing gas main.
- The developer would need to replace the existing customers Overhead connections with underground services. This would require trenching on the customers property & installation of new equipment on each building.
 - Each customer would need to approve the developers work on their properties. A single property owner who refuses to allow this work could hold up the entire conversion. Approximately 3 or more lots would be affected.

Please contact us if you have any questions or need further clarification, (858) 414-5589.

Sincerely,
UTILITY SPECIALISTS SOUTHWEST, INC.

Michael Pinzini
Project Manager



4429 Marena Boulevard
 San Diego, California 92117
 858 581 2250

Dry Utility Overhead Conversion - Cost Opinion

Fidelis Advisors

901 Pier View Way

12/7/2022

Item	Quantity	Unit Cost	Cost	Potential Refund	Net Cost	NOTES:
SDG&E Structures & Fees		\$ -	\$ 120,000	\$ -	\$ 80,000	SDG&E transformers, pole, & anchor
AT&T Relocation Fees		\$ 50,000	\$ 50,000	\$ -	\$ 50,000	AT&T Relocation fee
CATV Relocation Fees	2	\$ 25,000	\$ 50,000	\$ -	\$ 50,000	Cox & Charter Relocation Fee
					\$ 180,000	
Contractor Costs						
Contractor - Mainline Trench	400'	\$ 260	\$ 104,000	\$ -	\$ 104,000	Mainline Trenching Fees
Contractor - Sub-Structures		\$ -	\$ -	\$ -	\$ 26,000	SDG&E & Communication sub-structures
Contractor - Re-Feed Existing Services	2	\$ 13,000	\$ 26,000	\$ -	\$ 26,000	Trenching and Equipment
Sub-Total					\$ 156,000	

GRAND TOTAL

\$ 336,000

Kirk Moeller Architects, Inc.
2888 Loker Ave. East Suite 220
Carlsbad, California 92010
Phone: 760-814-8128
kirk@kmarchitectsinc.com



November 17, 2022

City of Oceanside Planning Division
300 N. Coast Highway
Oceanside, CA 92054
Attn: Shannon Vitale

**RE: Pier View Mixed Use, 901 Pier View / RD22-0002 / RP22-00001 / DB22-00007
Community Outreach Meeting Report**

Shannon,

On or about August 1, 2022, the applicant mailed project notification mailers to property owners within 1,500 ft from the project site as well as occupants/tenants within 100 feet from the project site noticing interested parties of a Community Outreach meeting hosted by the applicant on November 15, 2022 from 6:00pm – 7:30pm at the Civic Center Library Community Room. The meeting was held open during the scheduled meeting hours and attendees included two members of the applicant team and yourself.

Please let me know if you have any questions or additional comments.

Thank you,

A handwritten signature in blue ink, appearing to read 'Kirk Moeller', is written over a horizontal line.

Kirk Moeller
Kirk Moeller Architects, Inc.



NOTICE OF EXEMPTION

City of Oceanside, California

Post Date:
Removal:
(180 days)

1. **APPLICANT:** IV West, CA LLC
2. **ADDRESS:** 901 Pier View Way
3. **REPRESENTATIVE/PHONE NUMBER:**
4. **LEAD AGENCY:** City of Oceanside
5. **PROJECT MGR.:** Shannon Vitale, Senior Planner - (760) 435-3927
6. **PROJECT TITLE:** 901 Pier View Way (RP22-00001, RD22-00002, DB22-00007)
7. **DESCRIPTION:** The proposed project is a request to allow the construction of a mixed-use development project comprised of 64 residential units, including seven deed restricted low-income units, and approximately 2,500 SF of commercial space at 901 Pier View Way. The project site is designated Downtown (DT) by the City's General Plan, zoned D-2 per the City's Zoning Ordinance, and is within the Townsite Neighborhood Planning Area.

ADMINISTRATIVE DETERMINATION: Planning Division staff has completed a preliminary review of this project in accordance with the City of Oceanside's Environmental Review Guidelines and the California Environmental Quality Act (CEQA), 1970. Based on this review, staff has determined that further environmental evaluation is not required because:

- In accordance with Article 19, Section 15332 of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), the proposed project qualifies for a Class 32 "In-fill Development Projects" Categorical Exemption pursuant to Section 15332, as the project is located in an urbanized area and would not result in any significant environmental effects.
- "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. (Section 15061(b) (3)); or,
- The project is statutorily exempt, Section, ____ (Sections 15260-15277); or,
- The project does not constitute a "project" as defined by CEQA (Section 15378).

Shannon Vitale
Digitally signed by Shannon Vitale
DN: cn=Shannon Vitale,
ou=Building,
email=SVitale@oceansideca.org
Date: 2023.04.03 15:49:09 -0700

Date: April 3, 2023

Shannon Vitale, Senior Planner

cc: Project file Counter file Library Posting: County Clerk \$50.00 Admin. Fee